

GENERAL NOTES

- CODE COMPLIANCE**
ALL WORK SHALL COMPLY WITH THE 2018 IBC, 2018 IRC, 2015 IMC, 2018 IFGC, 2018 NATIONAL FUEL GAS CODE, NFPA 54, 2018 LIQUEFIED PETROLEUM GAS CODE, NFPA 58, 2018 IFC, 2018 UPC, 2018 WSEC, WAC 51-11, 2018 WAO, WAC 51-13, 2018 NEC, AND WITH ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS**
A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION:** CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- ROUGH OPENINGS/BACKING:** VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.
- FURRING:** PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- GRADES:** VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
- FLOOR LINES:** "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
- REPETITIVE FEATURES:** OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- DOORS:** DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
- WOOD ON CONCRETE:** WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR EXPOSED TO WEATHER, PROVIDE PRESSURE TREATED SILL PLATES.

ENERGY NOTES

CODE(S): 2018 INTERNATIONAL BUILDING CODE (IBC) (2018 INTERNATIONAL RESIDENTIAL CODE (IRC) (2018 WASHINGTON ENERGY CODE (WEC))

CLIMATIC ZONE: 4C - MARINE

SPACE HEAT TYPE: NATURAL GAS, FORCED AIR

INSULATION VALUES: PRESCRIPTIVE METHOD (ALL NEW AREA)
 WALLS: R-21
 FLAT ATTICS/CEILING: R-49/R-38
 FLOORS (OVER UNHEATED SPACES): R-38
 VAULTED CEILING: R-38
 SLAB-ON-GRADE: R-10

THERMAL STANDARDS FOR OPENINGS UNLIMITED OPTION

AIR INFILTRATION: MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION 502.1.5 OF THE WASHINGTON STATE ENERGY CODE

EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF; OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE.

MOISTURE CONTROL: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDER OF ONE PERM PERM CUP RATING (4 MIL POLYETHYLENE)

ATTICS/CEILING: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY

CRAWL SPACE: CONTINUOUS 6 MIL POLYETHYLENE

VENTILATION: ATTICS WITH BATTS: BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE
 ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION

HEATING & COOLING: FORCED AIR NATURAL GAS HEATING SYSTEM.

TEMP. CONTROL: FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.

DUCT INSULATION: THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH TABLE 406.2 OF THE 2018 WASHINGTON STATE ENERGY CODE.
 a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER 2018 WSEC.

LIGHTING: RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.

PIPE INSULATION: NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED TO R-3 MIN.

WHOLE HOUSE VENTILATION: VENTILATION TO BE SUPPLIED BY FORCED AIR FURNACE
 a. FAN SIZE TO BE DESIGNED BY MECHANICAL CONTRACTOR, TO MEET CURRENT WSEC.
 b. PROGRAMMABLE THERMOSTAT, WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR, AT A MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACK PERIODS PER DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55°F (13°C) OR UP TO 85°F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANUFACTURER WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70°F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78°F (26°C). THE THERMOSTAT AND/OR CONTROL SYSTEM SHALL HAVE AN ADJUSTABLE DEADBAND OF NOT LESS THAN 10°F.
 EXCEPTIONS:
 1. SYSTEMS CONTROLLED BY AN OCCUPANT SENSOR THAT IS CAPABLE OF SHUTTING THE SYSTEM OFF WHEN NO OCCUPANT IS SENSED FOR A PERIOD OF UP TO 30 MINUTES.
 2. SYSTEMS CONTROLLED SOLELY BY A MANUALLY OPERATED TIMER CAPABLE OF OPERATING THE SYSTEM FOR NO MORE THAN TWO HOURS.

ENERGY CREDITS = 6.0

(PRESCRIPTIVE)
TABLE 406.2 ENERGY CREDITS (Single Family)

Option	Description	Credit
HEATING OPTIONS	# 2 HEAT PUMP	= 1.0
ENERGY OPTIONS	1.3 EFFICIENT BUILDING ENVELOPE	= 0.5
	2.2 AIR LEAKAGE CONTROL & EFFICIENT VENTILATION (COMPLIANCE BASED ON SECT. 402.4.1.2)	= 1.0
	3.5 AIR SOURCE, CENTRALLY DUCTED HEAT PUMP (MINIMUM HSPF OF 11.0)	= 1.5
	5.5 EFFICIENCY WATER HEATER (MEETING STANDARDS OF Tier III of NEEA'S SPEC'S)	= 2.0

6.0 TOTAL ENERGY CREDITS

LOT COVERAGE

STRUCTURE: 2,214.25 s.f.
 VEHICLE DRIVEWAYS: 974 s.f.
TOTAL: 3,188.25 s.f. < 3360

FLOOR AREAS

MAIN FLOOR AREA: 1,219.5 S.F.
 GARAGE AREA: 484 S.F.
 UPPER FLOOR AREA: 1,656.5 S.F.
TOTAL AREA: 3,359.75 S.F. < 3,360

LOT SLOPE

HIGH POINT: 280'
 LOW POINT: 274'
 DIFFERENCE: 6.0'
 DISTANCE BETWEEN: 114.67' / 6.0 = 5.2%

ENERGY CODE

-HEATING SYSTEM IS A NATURAL GAS FURNACE FORCED AIR SYSTEM.
 -CONSTRUCTION SHALL ADHERE TO:
 CLIMATE ZONE: 4C - MARINE
 WINDOWS - 0.28 U-FACTOR
 DOORS - 0.20 U-FACTOR

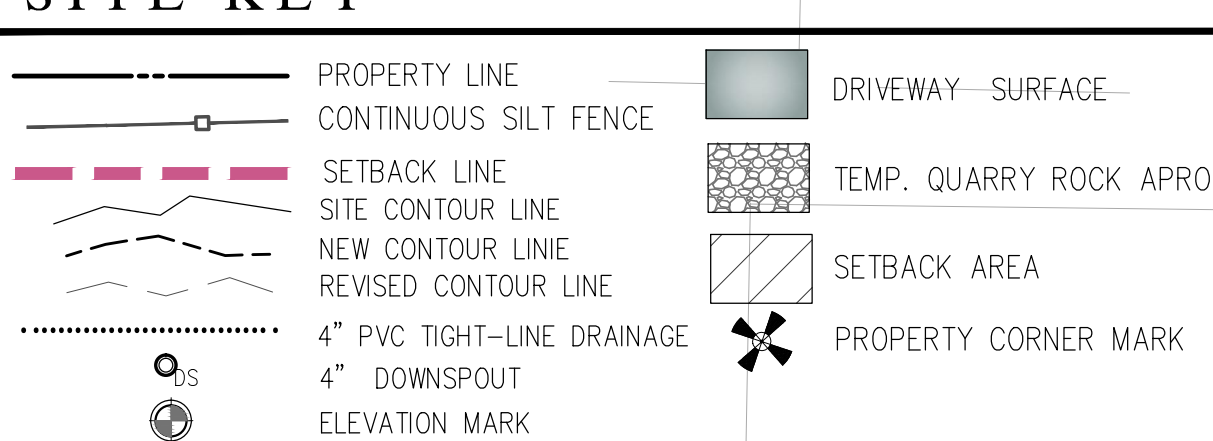
PARCEL Number:

5021900405

LEGAL DESCRIPTION

LOT 1:
 THAT PORTION OF PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON, LYING WESTERLY OF THE FOLLOWING DESCRIBED LINE:
 COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL B;
 THENCE NORTH 88°47'07" WEST, ALONG THE NORTH LINE OF SAID PARCEL B, A DISTANCE OF 75.59 FEET, TO THE POINT OF BEGINNING;
 THENCE SOUTH 01°12'53" WEST, A DISTANCE OF 114.75 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL B AND THE TERMINUS OF SAID LINE.

SITE KEY

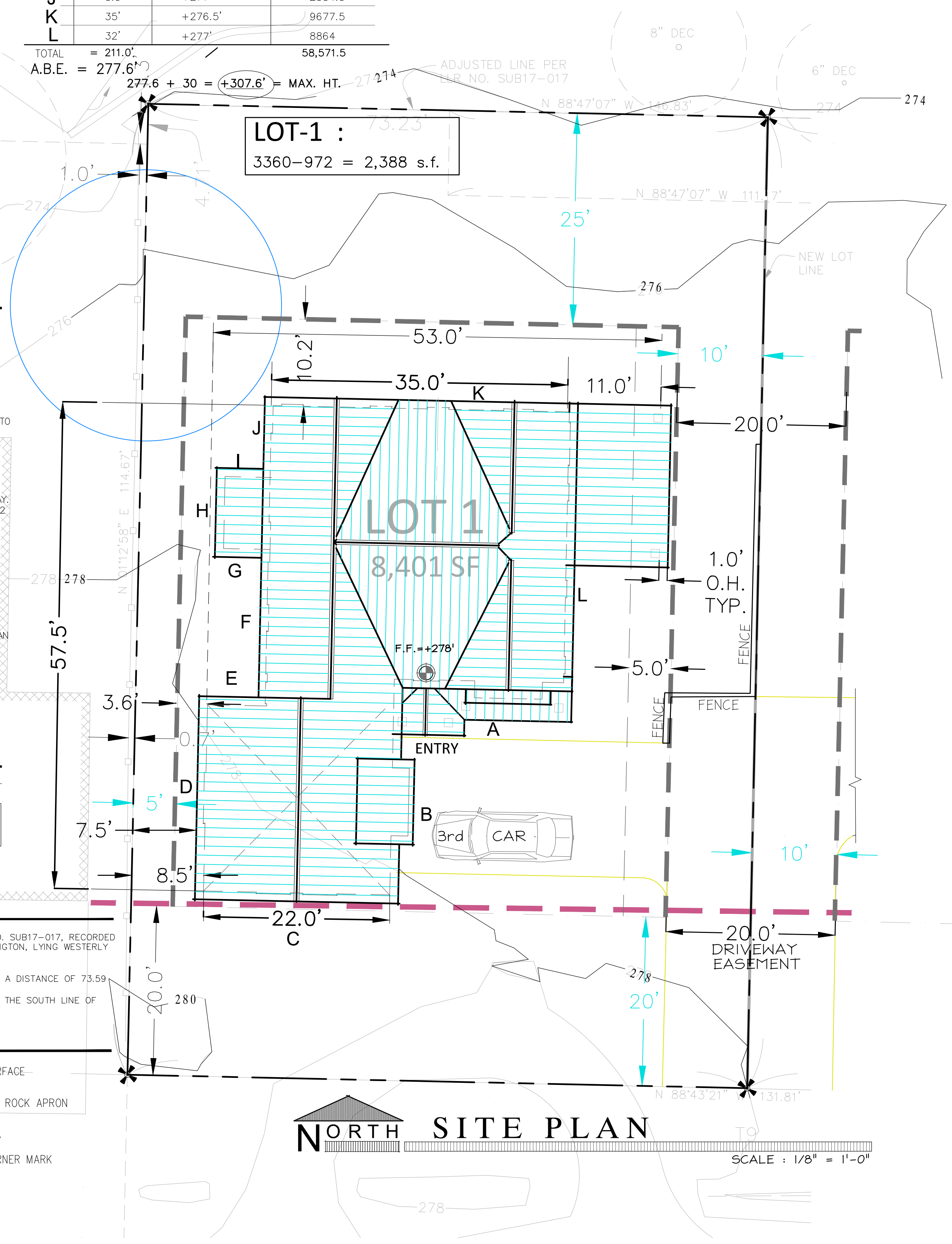


AVERAGE BUILDING ELEVATION

MARK	WALL LENGTH	GRADE / ELEVATION	CALCULATION
A	20'	+277.5'	5550
B	26'	+278'	7228
C	22'	+278.5'	6127
D	22'	+278.5'	6127
E	7'	+278'	1946
F	19'	+278'	5282
G	5.5'	+278'	1529
H	8.5'	+278'	2363
I	5.5'	+277'	1523.5
J	8.5'	+277'	2354.5
K	35'	+276.5'	9677.5
L	32'	+277'	8864
TOTAL	= 211.0'		58,571.5
A.B.E.	= 277.6'		

SITE NOTES

- PLACE COMPOST SOCKS, COMPOST BERMS, FILTER FABRIC FENCING, STRAW BAILS, STRAW WATTLES, OR OTHER APPROVED PERIMETER CONTROL BMP'S TO ELIMINATE CONSTRUCTION STORMWATER RUN-OFF.
- ELIMINATE UNCONTROLLED CONVEYANCE OF MUD & DIRT INTO THE RIGHT-OF-WAY (R.O.W.)
- COVER BARE SOILS WITH COMPOST BLANKETS, STRAW, MULCH, MATTING, OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- COVER STOCKPILES OF BARE SLOPES WITH COMPOST BLANKETS, TARPS, MATTING OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- MERCER ISLAND - MICC 19.02.030(F)(3)(d) ALL JAPANESE KNOTWEED, (POLYGONUM CUSPIDATUM), & REGULATED CLASS 'A', REGULATED CLASS 'B', REGULATED CLASS 'C' WEEDS, IDENTIFIED ON KING COUNTY NOXIOUS WEED LIST SHALL BE REMOVED FROM PROPERTY PURSUANT TO SUBSECTION 19.02.020(F)(3)(a).



RFA ARCHITECTS
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 WEB: RICHARDAFISHER.COM
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 WINTHROP, WASHINGTON 98862
 TEL.: (509) 996-2689

R K K Construction
 PROJECT NAME: PROJECT ADDRESS:
 8908 S.E. 37th Street
 Mercer Is., WA 98040

SET TITLE: PERMIT SET
 SHEET TITLE: SITE PLAN

STAMP:
 4884
 RICHARD A. FISHER
 STATE OF WASHINGTON

PROJECT #: 21030
 DATE: MAY 3, 2023
 DRAWN BY: N.F.W.
 REVISIONS:

Tag	Description

SHEET No.:
A1.0

WINDOW SCHEDULE

TAG	DIMENSIONS (R.O. = w x h.)	TYPE	NOTES
A	(2) 3'-0" X 4'-0"	CSMNT/CSMNT	EGRESS - SAFETY GLAZE
B	1'-0" X 5'-0"	SIDELITE	SAFETY GLAZE
C	3'-0" X 3'-6"	CASEMENT	
D	(2) 2'-6" X 4'-0"	CSMNT/CSMNT	
E	2'-6" X 3'-6"	CASEMENT	SAFETY GLAZE AT BATHROOMS
F	(3) 3'-0" X 3'-6"	CSMNT/PIC/CSMNT	
G	3'-0" X 5'-0"	CASEMENT	
H	4'-0" X 5'-0"	PICTURE	
I	(2) 2'-6" X 3'-6"	CSMNT/CSMNT	SAFETY GLAZE
J	4'-0" X 6'-0"	PICTURE	
K	3'-0" X 4'-0"	CASEMENT	
L	4'-0" X 4'-0"	PICTURE	
M	2'-6" X 4'-0"	CASEMENT	
N	2'-0" X 3'-6"	CASEMENT	
T	Width below X 1'-6"	TRANSOM	

NOTES:
1. 'SG.' = SAFETY GLAZING.
2. DOOR 'U-FACTOR' = 0.20
3. WINDOW 'U-FACTOR' = 0.28

DOOR SCHEDULE

TAG	DIMENSIONS (R.O. = w x h.)	TYPE	NOTES
1	3'-0" X 6'-8"	ENTRY	SOLID WD./SAFETY GLAZE / LOCKSET
2	16'-0" X 8'-0"	GARAGE	'CARRIAGE STYLE'
3	(2) 4'-0" X 6'-8"	SLIDER	
4	3'-0" X 6'-8"	SEPARATION	1-HR. FIRE RATED w/ INTEGRAL SMOKE GASKETS 'SELF-CLOSER' REQUIRED PER R302.5.1
5	2'-6" X 6'-8"	STND. WOOD	
6	3'-0" X 6'-8"	STND. WOOD	
7	3'-0" X 6'-8"	SOLID WOOD	LOUVERED MECH. DOOR - SEE PLAN NOTE #8
8	(2) 2'-0" X 6'-8"	STND. WOOD	
9	(2) 2'-6" X 6'-8"	STND. WOOD	
10	(2) 3'-0" X 6'-8"	STND. WOOD	
11	2'-6" X 6'-8"	POCKET	SLIDER HARDWARE
12	22.5" X 36"	ACCESS	REMOVABLE / INSULATED PANEL
13	22.5" X 48"	ACCESS	INSULATED PULL-DOWN LADDER

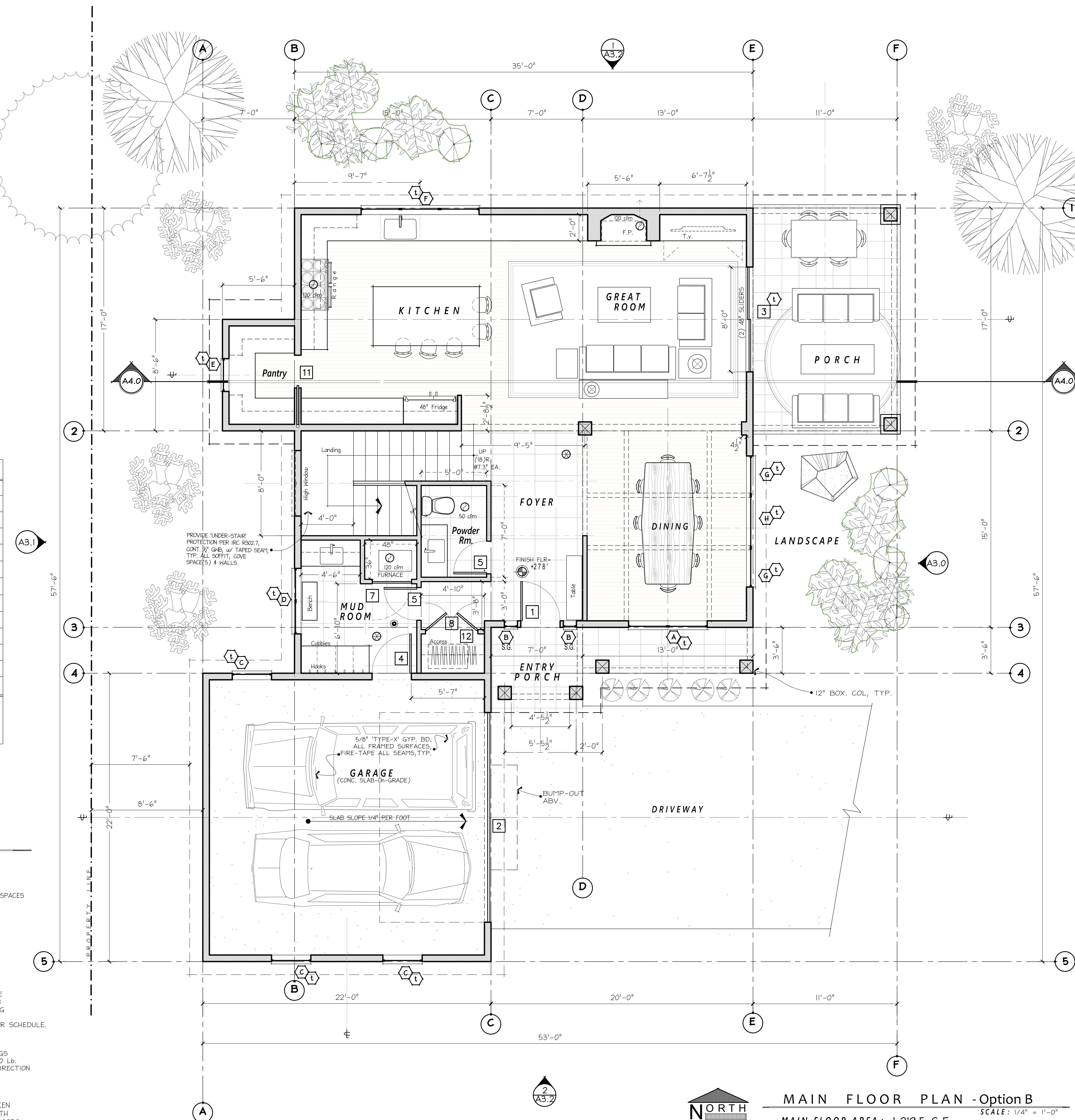
NOTES:
1. 'SG.' = SAFETY GLAZING.
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3. WINDOW 'U-FACTOR' = 0.28

PLAN KEY

- 6" EXTERIOR WALL
- 4" PARTITION WALL
- SMOKE DETECTOR
- MECHANICAL VENT FAN
(CUBIC FEET PER MINUTE)
- ELEVATION MARKER
- SAFETY-GLAZING
- CARBON MONOXIDE DETECTOR
(APPROVED PER IRC315.1)
- CENTERLINE
- SETBACK LINE
- PROPERTY LINE

PLAN NOTES

1. WHOLE HOUSE VENTILATION TO BE PROVIDED BY FORCED AIR FURNACE WITH DIRECT OUTSIDE AIR.
2. SMOKE DETECTORS SHALL BE HARD-WIRED & PROVIDED IN EXISTING SPACES WITH BATTERY BACK-UP PER IRC 313 & INSTALLED PER IRC 314.2.2
3. STAIR HANDRAILS TO CONFORM TO I.R.C. SECT. 311.5.6. w/ 36" ht. FROM TREAD NOSING, TYP.
4. ALL OUTLETS @ COUNTER HEIGHT, (@BATHS, KITCHEN, LAUNDRY) SHALL BE G.F.C.I.
5. DO NOT SCALE OFF DRAWINGS, NOTED DIMENSIONS SHALL @ ALL TIMES TAKE PRECEDENT. DIMS. ARE TO FACE OF FRAMING, TYP.-WDW. & DOOR DIMS. ARE TO ROUGH OPENING
6. SEE SHEET A2.0 FOR WINDOW & DOOR SCHEDULE SCHEDULE.
7. CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB. LOAD ON TOP RAIL ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5.
8. 36" MECHANICAL RM. DOOR: PER IMC SECTION 303.3, ALL COMBUSTIBLE AIR MUST BE TAKEN FROM OUTDOORS IN ACCORDANCE WITH IMC CHAPTER 7. MECHANICAL RM. DOORS SHALL BE SOLID CORE WITH EXTERIOR WEATHER STRIPPING & APPROVED SELF-CLOSING DEVICE.



PROJECT NAME: R K K Construction
PROJECT ADDRESS: 8908 S.E. 37th Street
Mercer Is., WA 98040

SET TITLE: PERMIT SET
SHEET TITLE: MAIN FLOOR PLAN

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT NO: 21030
DATE: MAY 3, 2023
DRAWN BY: N.F.W.
REVISIONS:

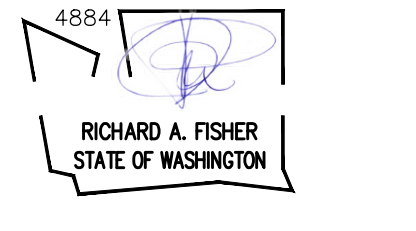
SHEET NO.: A2.0

MAIN FLOOR PLAN - Option B
SCALE: 1/4" = 1'-0"
MAIN FLOOR AREA: 1,219.5 S.F.
GARAGE AREA: 484 S.F.
UPPER FLOOR AREA: 1,656.5 S.F.
TOTAL AREA: 3,359.75 < 3,360

PROJECT NAME:	PROJECT ADDRESS:
R K K Construction	
8908 S.E. 37th Street Mercer Is., WA 98040	

SET TITLE:	PERMIT SET
SHEET TITLE:	UPPER FLOOR PLAN

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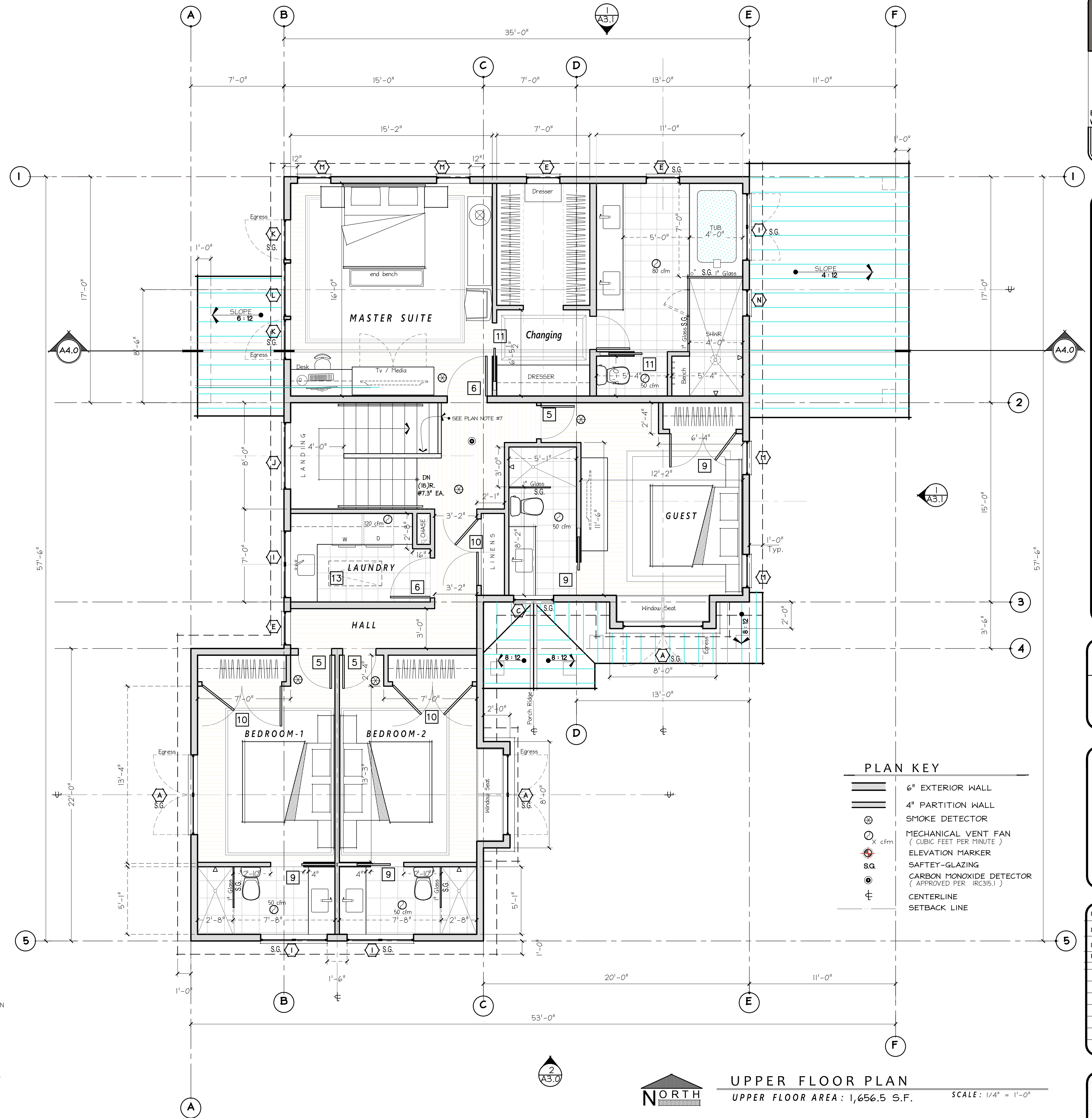


RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #	21030
DATE	MAY 3, 2023
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REVISIONS	
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SHEET NO. 0

A2.1



PLAN NOTES

- WHOLE HOUSE VENTILATION TO BE PROVIDED BY FORCED AIR FURNACE WITH DIRECT OUTSIDE AIR.
- SMOKE DETECTORS SHALL BE HARD-WIRED & PROVIDED IN EXISTING SPACES WITH BATTERY BACK-UP PER IRC 313 & INSTALLED PER IRC 314.2.2
- STAIR HANDRAILS TO CONFORM TO I.R.C. SECT. 311.5.6. w/ 36" ht. FROM TREAD NOSING, TYP.
- ALL OUTLETS @ COUNTER HEIGHT, (@BATHS, KITCHEN, LAUNDRY) SHALL BE G.F.C.I.
- DO NOT SCALE OFF DRAWINGS. NOTED DIMENSIONS SHALL @ ALL TIMES TAKE PRECEDENT. DIMS. ARE TO FACE OF FRAMING, TYP.-WDW. & DOOR DIMS. ARE TO ROUGH OPENING
- SEE SHEET A2.0 FOR WINDOW SCHEDULE. SEE SHEET A2.0 FOR DOOR SCHEDULE.
- CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB. LOAD ON TOP RAIL ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5.
- 36" MECHANICAL RM. DOOR: PER IMC SECTION 303.3, ALL COMBUSTIBLE AIR MUST BE TAKEN FROM OUTDOORS IN ACCORDANCE WITH IMC CHAPTER 7. MECHANICAL RM. DOORS SHALL BE SOLID CORE WITH EXTERIOR WEATHER STRIPPING & APPROVED SELF-CLOSING DEVICE.



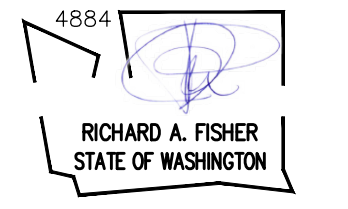
UPPER FLOOR PLAN
UPPER FLOOR AREA: 1,656.5 S.F.

SCALE: 1/4" = 1'-0"

PROJECT NAME:	PROJECT ADDRESS:
R K K Construction	8908 S.E. 37th Street Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ROOF PLAN

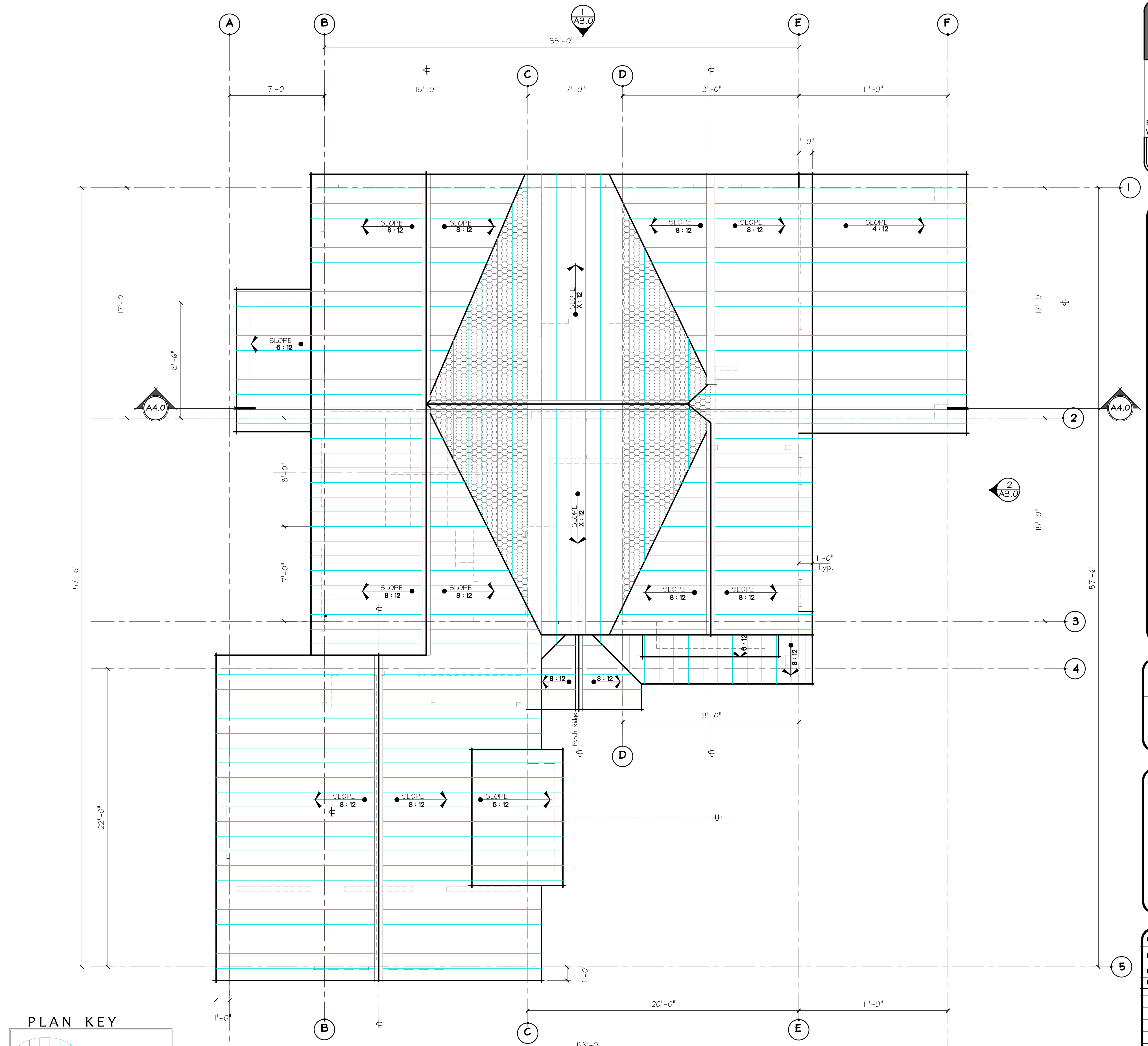
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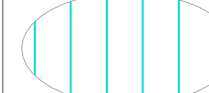


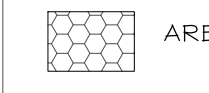


PROJECT #	21030
DATE	MAY 3, 2023
DRAWN BY	N.F.W.
REVISIONS	

SHEET #10

A2.2



PLAN KEY

-  METAL ROOFING
-  STRUCTURE BELOW ROOF
-  ROOF PITCH & DIRECTION
-  AREA OF ROOF OVER-FRAME
-  CONTINUOUS RIDGE & VENT
-  4" DIAMETER DOWNSPOUT

ATTIC VENTILATION CALCULATION

HOUSE ATTIC AREA : 1,656 s.f.

CALCULATION : $1656/300 = 5.52 \text{ s.f.} \approx 794 \text{ sq. Inches REQUIRED}$

RIDGE VENTS PROVIDED : 96.5 L.F.x16 sq.in. $\approx 1,544 \text{ sq. Inches PROVIDED}$

SOFFIT VENTS PROVIDED : 129 L.F.x24 sq.in. $\approx 3,096 \text{ sq. Inches PROVIDED}$



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

RFA
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PROJECT NAME:	PROJECT ADDRESS:
R K K Construction	8908 S.E. 37th Street Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ELEVATION

STAMP:

4884

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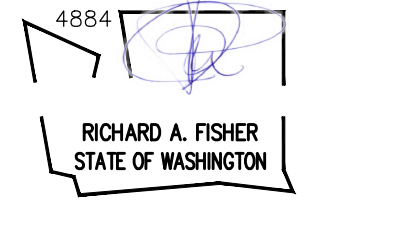
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A3.0

PROJECT NAME:	PROJECT ADDRESS:
R K K Construction	8908 S.E. 37th Street Mercer Is., WA 98040

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SHEET TITLE:	CROSS SECTION

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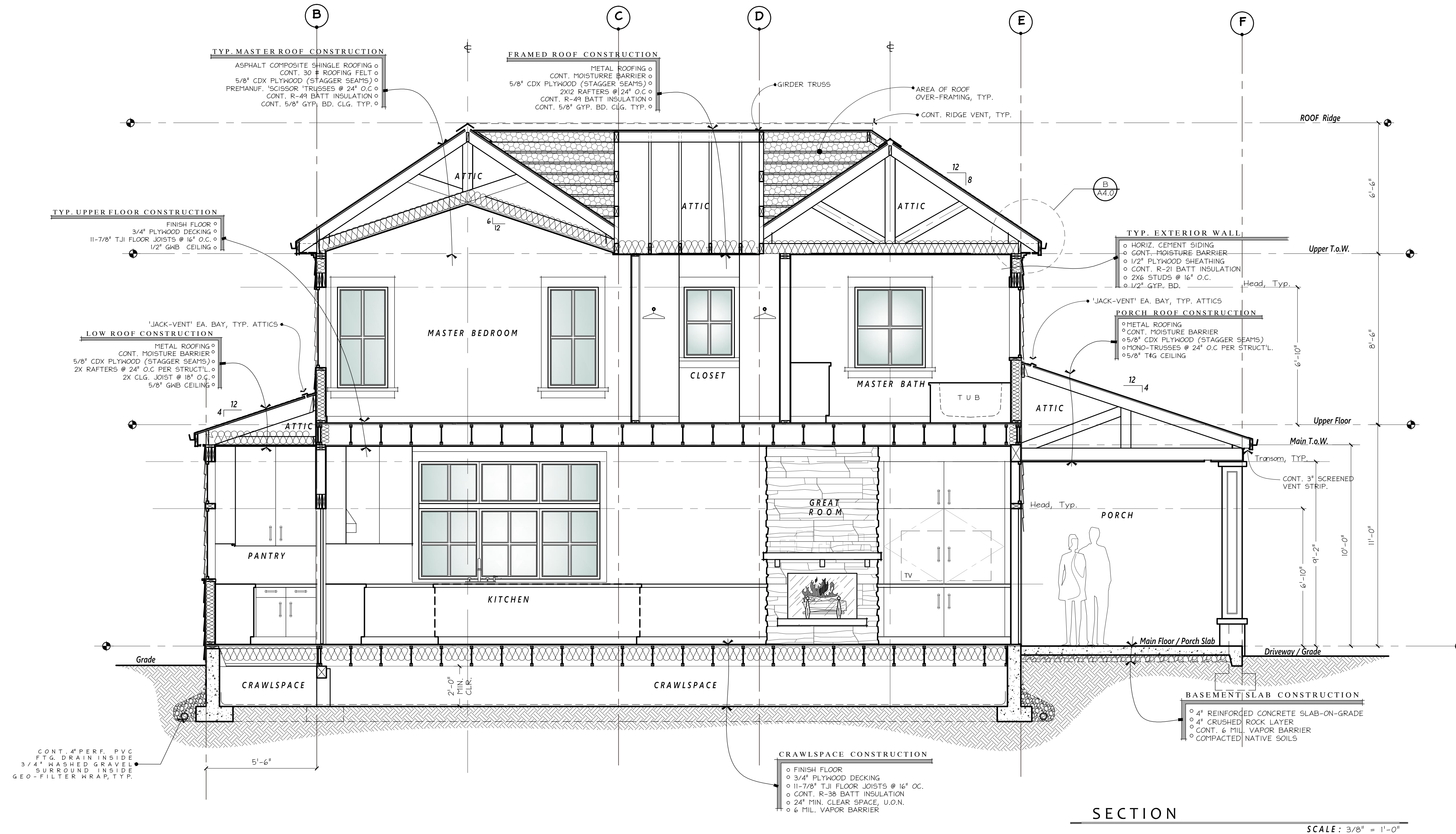


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STATE OF WASHINGTON

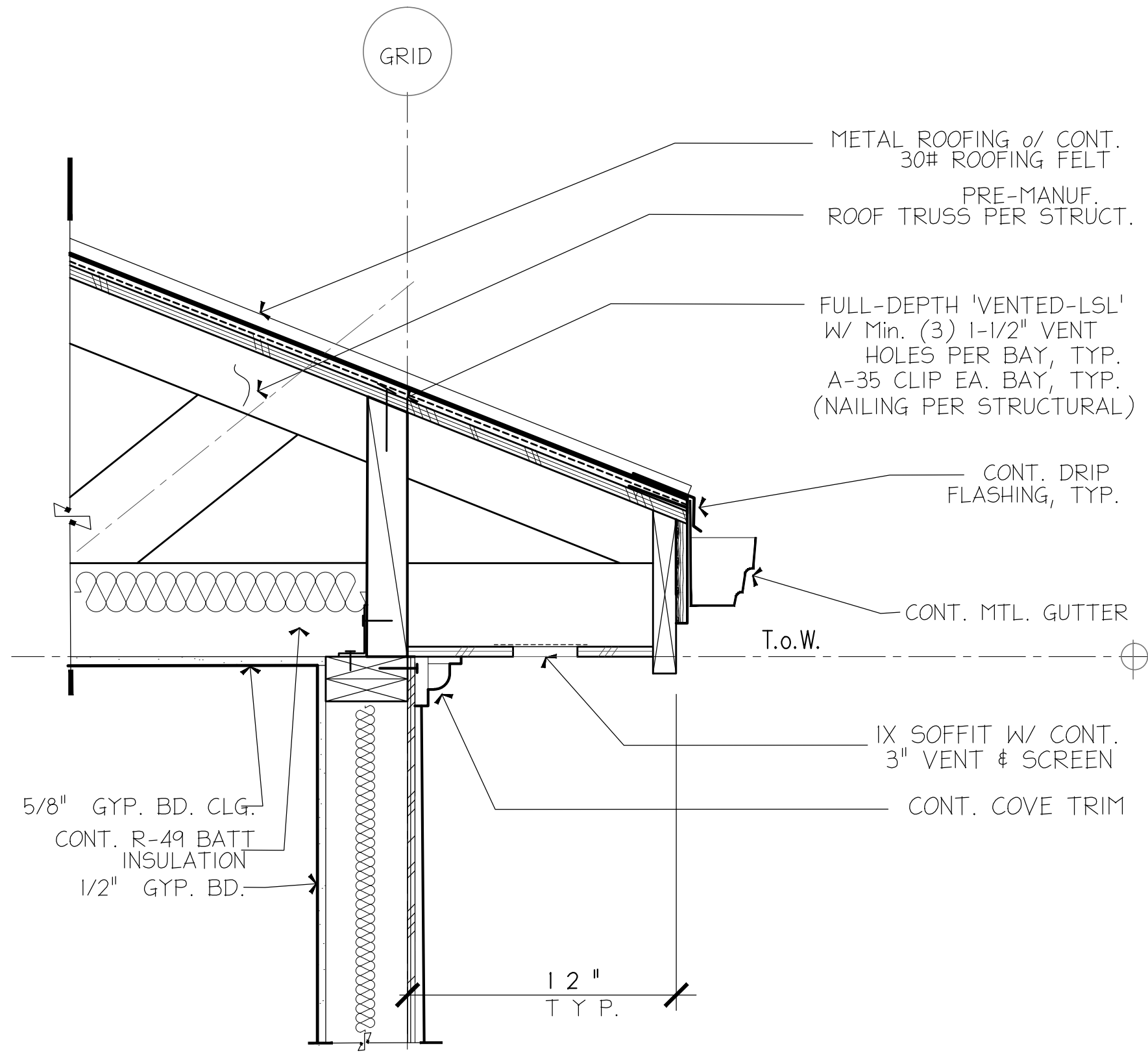
PROJECT #	21030
DATE	MAY 3, 2023
DRAWN BY	N.F.W.
REVISIONS	
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SHEET #	A4.0
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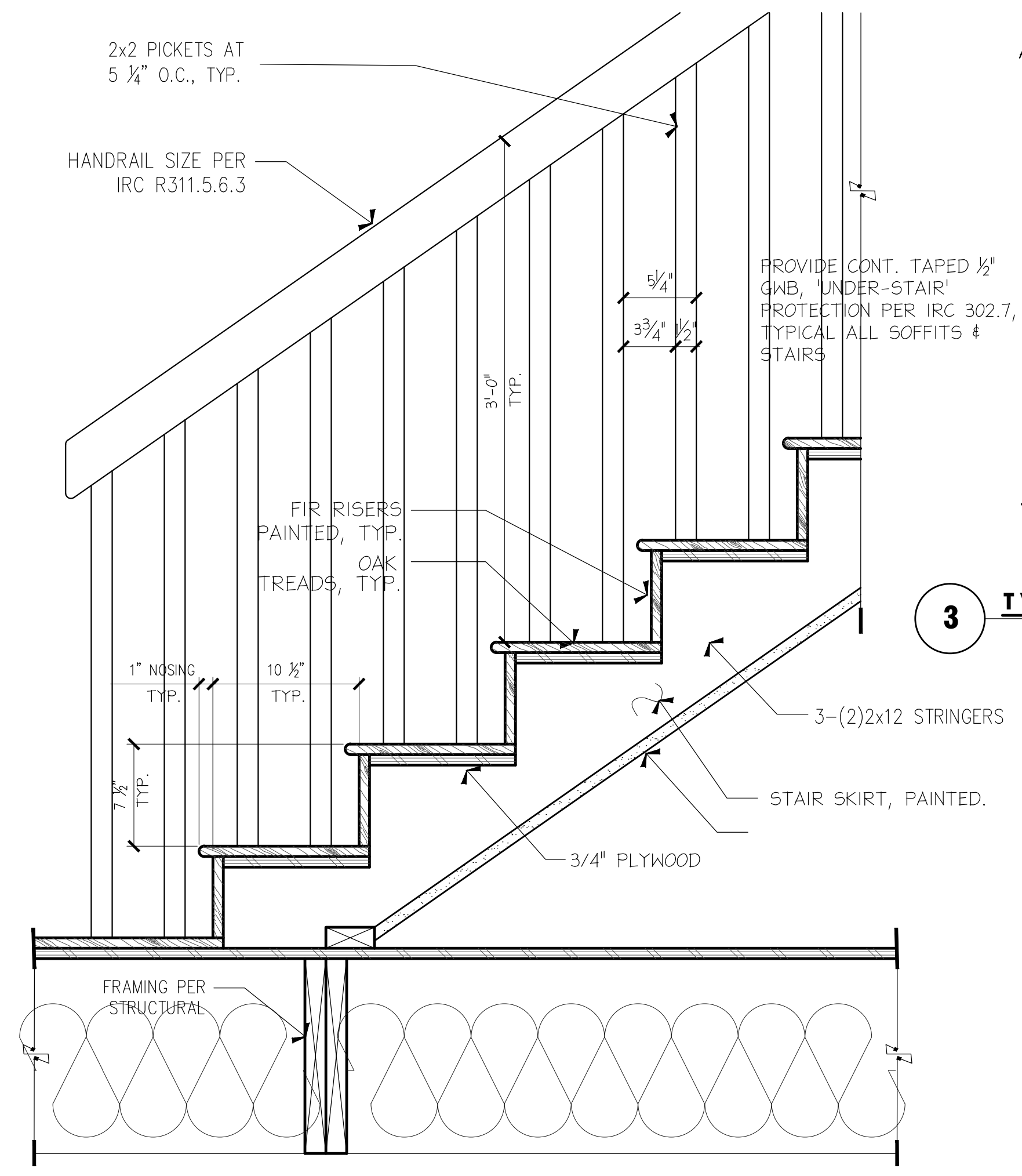
B TYPICAL ROOF OVER-HANG
SCALE: 1" = 1'-0"



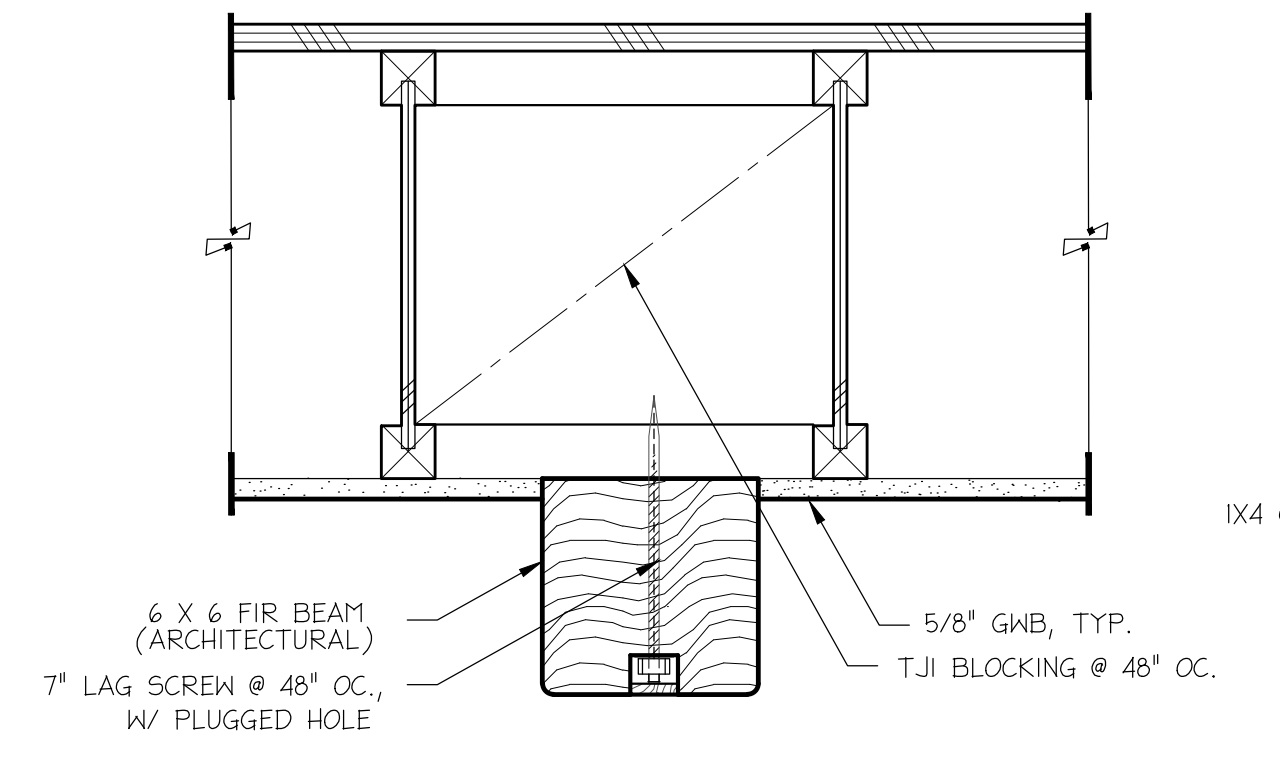
SECTION
SCALE: 3/8" = 1'-0"



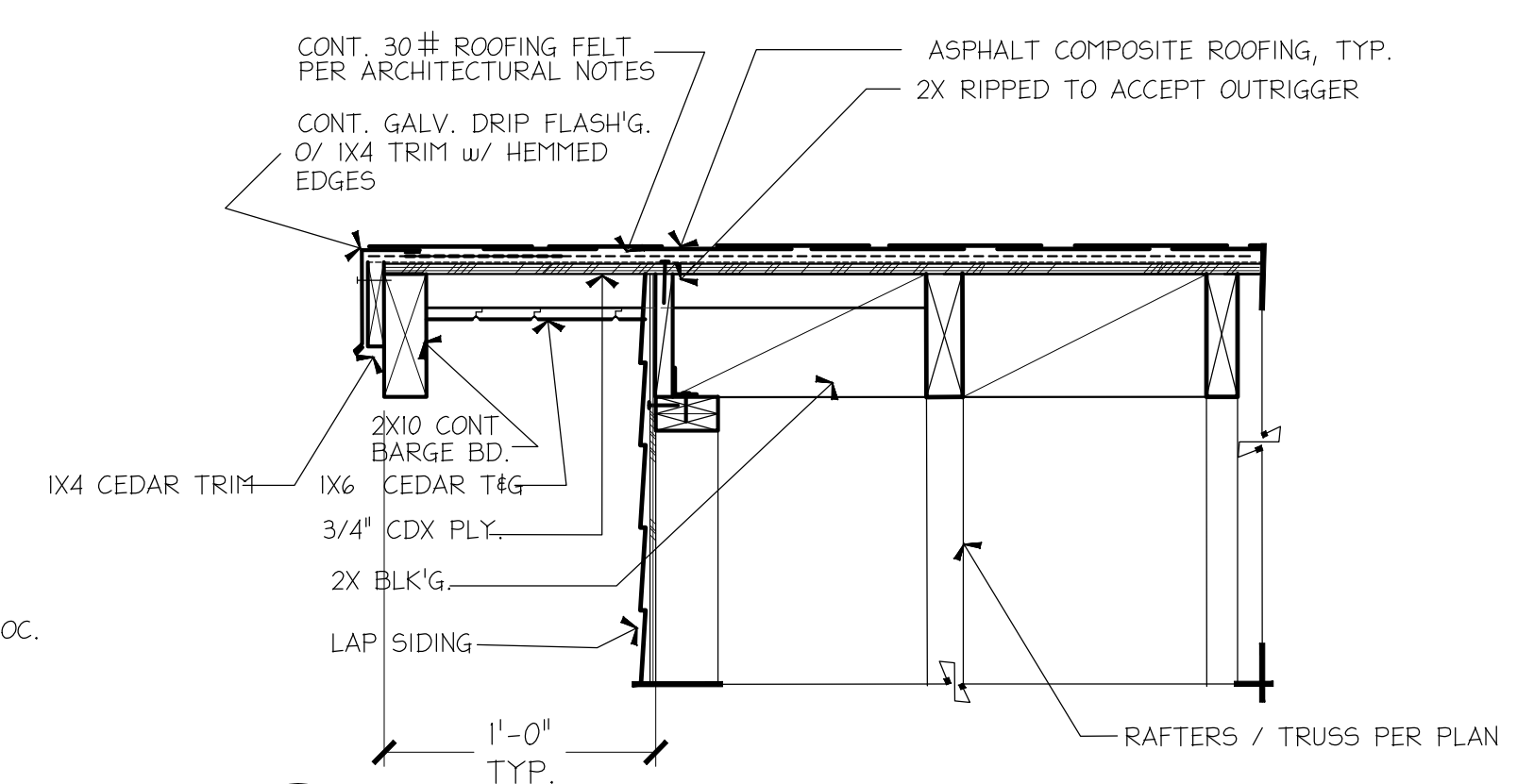
10 ROOF OVER-HANG DETAIL SCALE 1/2"=1'-0"



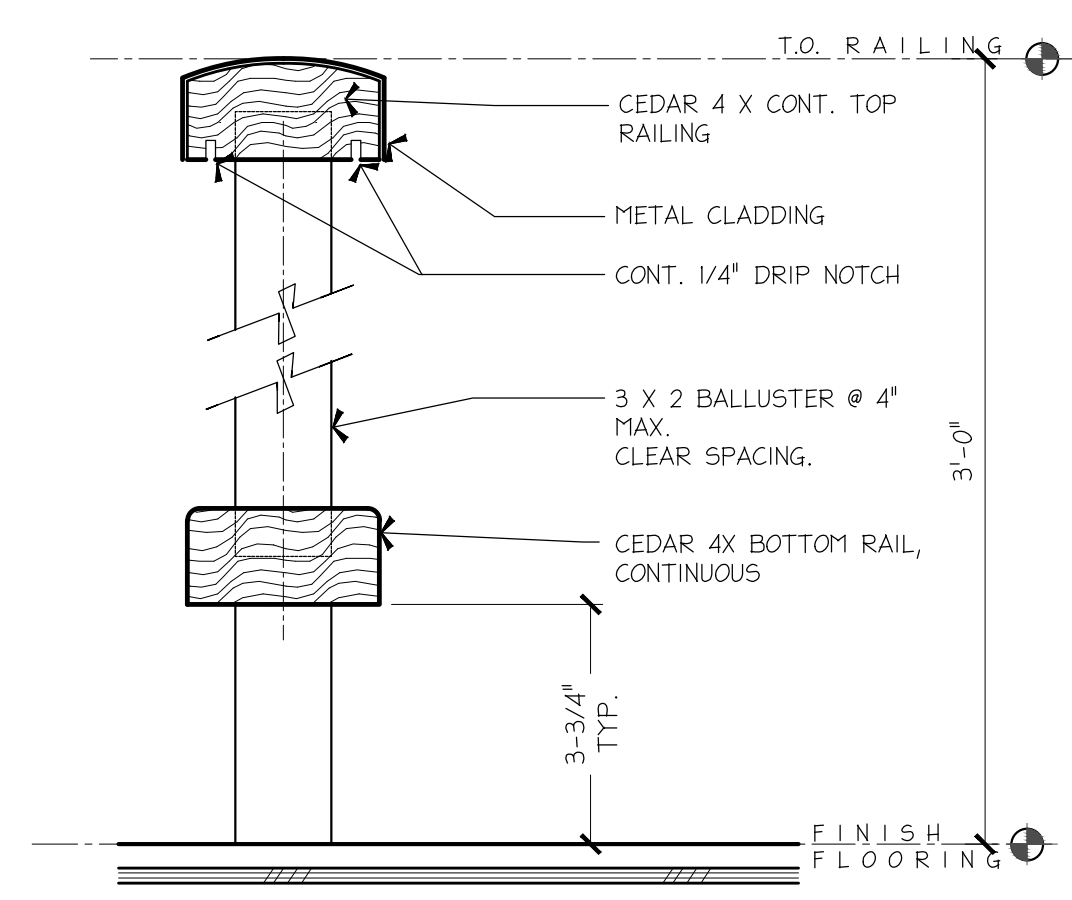
5 STAIR FRAMING DETAIL SCALE 1/2"=1'-0"



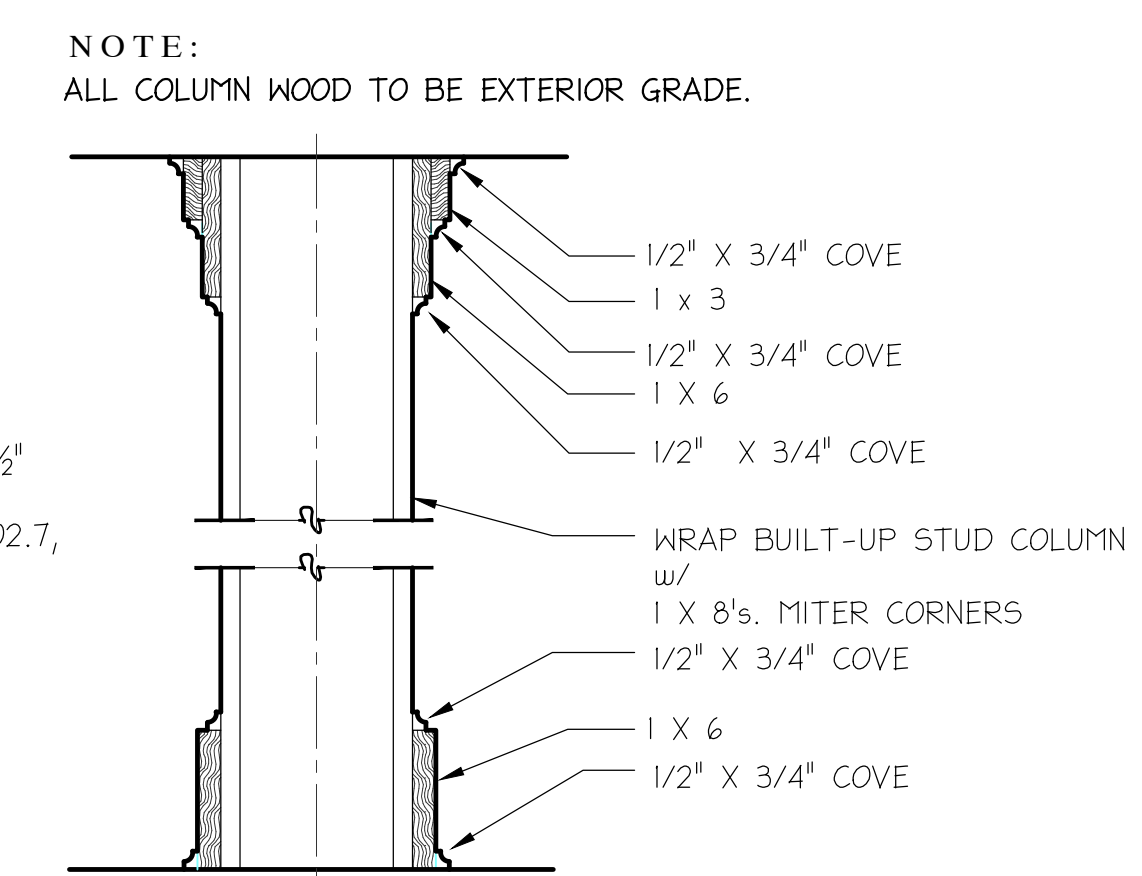
8 TYPICAL BOX COLUMN TRIM SCALE 3/4"=1'-0"



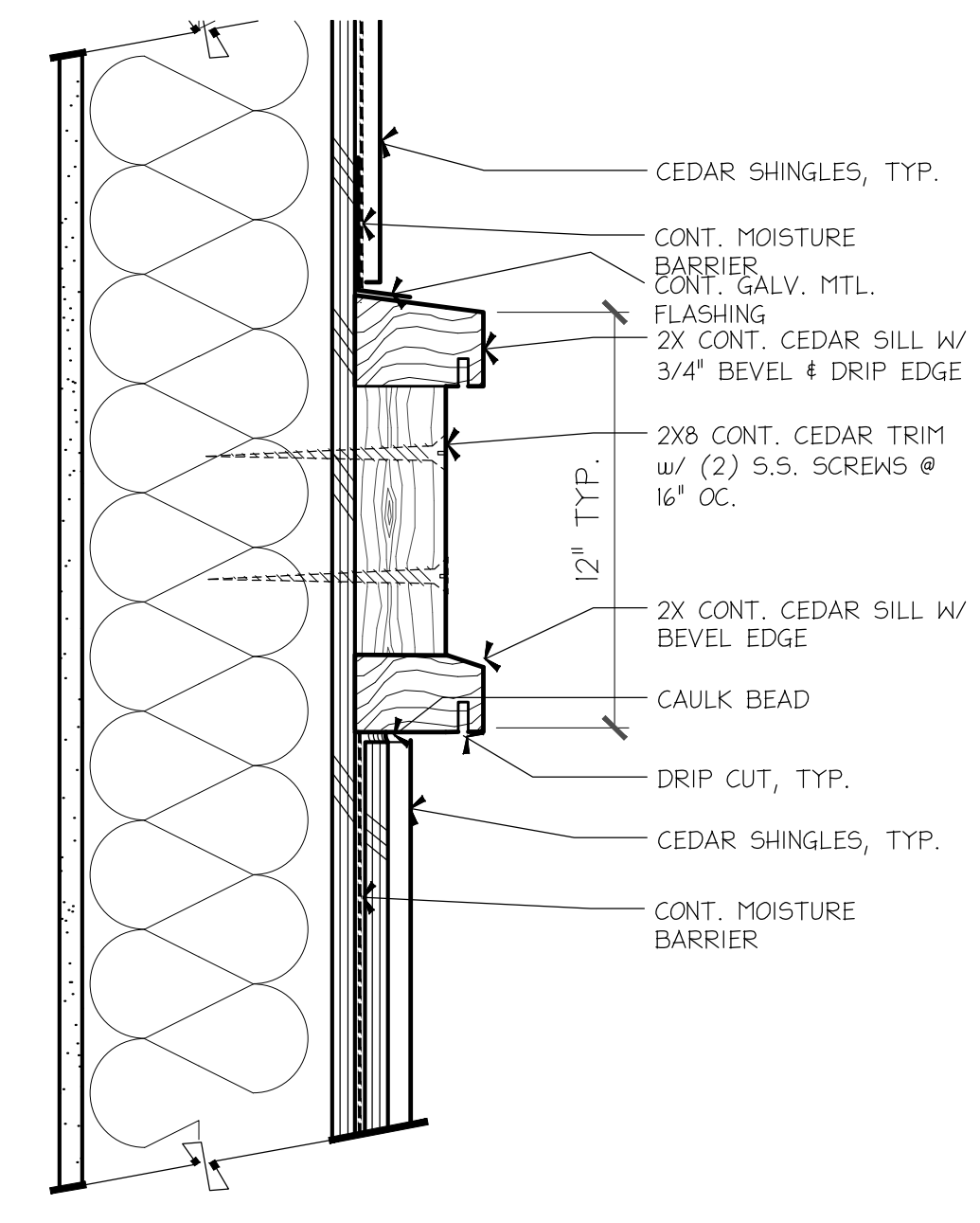
6 TYPICAL RAKE DETAIL SCALE 3/4"=1'-0"



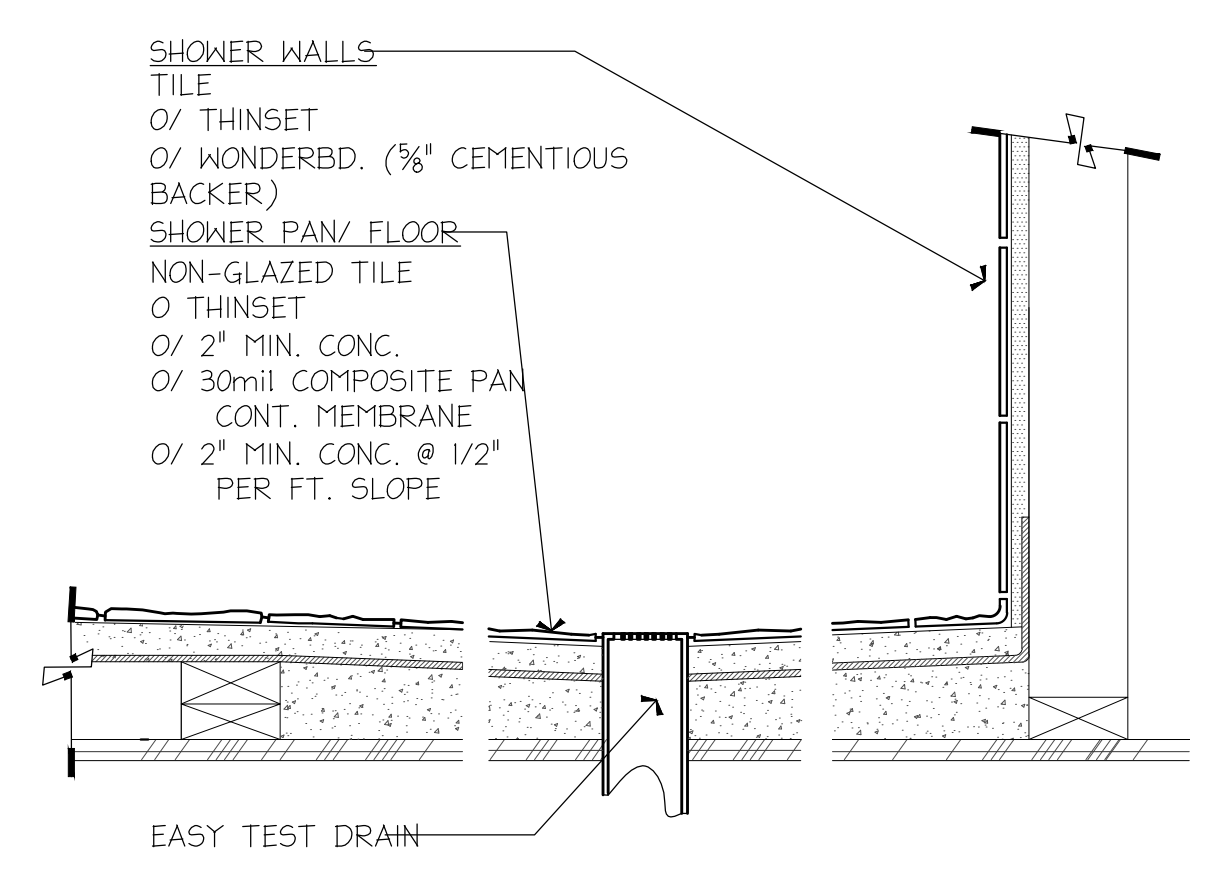
7 TYPICAL RAILING DETAIL SCALE 3/4"=1'-0"



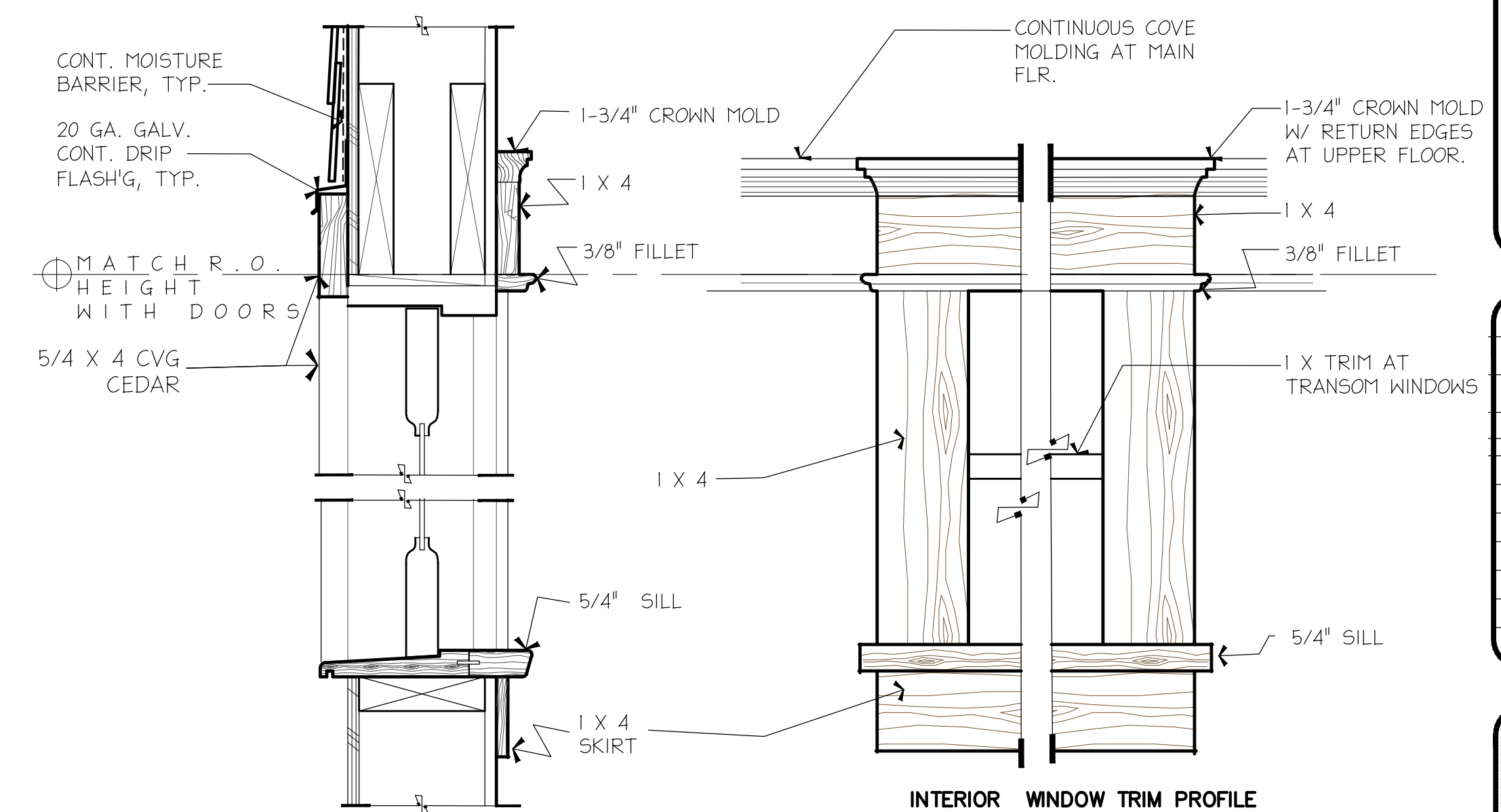
3 TYPICAL BOX COLUMN TRIM SCALE 1/2"=1'-0"



1 TYPICAL TRIM BAND DETAIL SCALE 3/4"=1'-0"



2 TYPICAL SHOWER PAN SCALE 1"=1'-0"



4 TYPICAL WINDOW TRIM DETAIL SCALE 1/2"=1'-0"

RFA ARCHITECTS
RICHARD A FISHER ARCHITECTS
8245 Northrup Pl. S.W. SEATTLE, WA 98136
(206) 484-9963
EMAIL: RAFISHER@RICHARDAFISHER.COM
WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
INTHROP, ASHINGTON, WA
TEL: (206) 484-1180

R K K Construction
PROJECT NAME: 8908 S.E. 37th Street
PROJECT ADDRESS: Mercer Is., WA 98040

SET TITLE: PERMIT SET
SHEET TITLE: ARCHITECTURAL DETAILS

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT NO: 21030
DATE: MAY 3, 2023
DRAWN BY: N.F.W.
REVISIONS:

SHEET NO: **A6.0**

ALLACE PRELIMINAR SHORT PLAT
MERCER ISLAND SHORT PLAT NO. SUB18-008

DECLARATION

WE THE UNDERSIGNED OWNER(S) IN FEE SIMPLE [AND CONTRACT PURCHASER(S)] OF THE LAND HEREIN DESCRIBED, DO HEREBY MAKE A SHORT SUBDIVISION THEREOF PURSUANT TO RCW 58.17.060 AND DECLARE THIS SHORT SUBDIVISION TO BE THE GRAPHIC REPRESENTATION OF THE SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S).

IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

BY: _____
MARLENE A. WALLACE

ACKNOWLEDGEMENTS

STATE OF WASHINGTON }
 } SS.
COUNTY OF KING }

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT MARLENE A. WALLACE IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT SHE SIGNED THIS INSTRUMENT, ON OATH STATED THAT SHE ACKNOWLEDGED IT TO BE HER FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

PRINTED NAME _____
MY COMMISSION EXPIRES _____

CITY OF MERCER ISLAND APPROVALS

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20____.

CODE OFFICIAL

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20____.

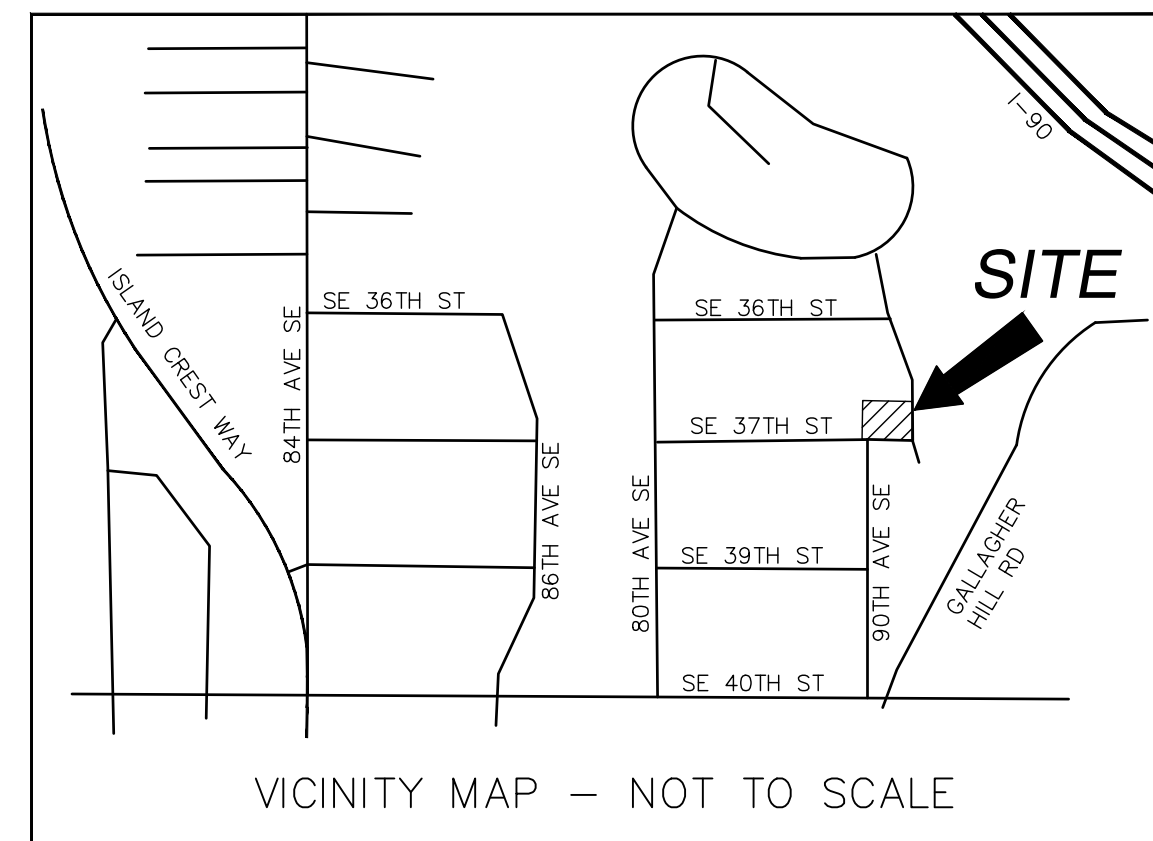
CITY ENGINEER

KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20____.

ASSESSOR DEPUTY ASSESSOR

TAX PARCEL NO. 5021900400



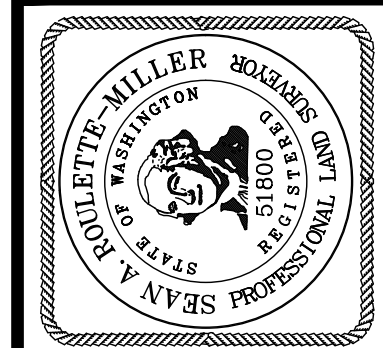
BASIS OF BEARINGS

NAD 83(91) WASHINGTON NORTH STATE PLANE COORDINATES PER GPS OBSERVATIONS.

SURVEY NOTES

1. THE SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2017. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
2. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY'S "SUBDIVISION GUARANTEE", ORDER NO. 0113565-ETU, DATED NOVEMBER 29, 2018 IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "SUBDIVISION GUARANTEE." TERRANE, INC. HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
3. INSTRUMENTATION FOR THIS SURVEY WAS A TRIMBLE ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

RECORDER'S CERTIFICATE

FILED FOR RECORD THIS _____ DAY OF _____, 20____ AT _____ M.
IN BOOK _____ OF SURVEYS. AT PAGE _____, AT THE REQUEST
OF TERRANE, INC.

MANAGER SUPT. OF RECORDS

SURVEYOR'S CERTIFICATE

THIS LOT LINE REVISION CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE APPROPRIATE STATE AND COUNTY STATUTE AND ORDINANCE AT THE REQUEST OF RKK CONSTRUCTION IN AUGUST OF 2018.

SEAN A. ROULETTE-MILLER, CERTIFICATE NO. 81500 DATE

REFERENCES

1. RECORD OF SURVEY, BOOK 245, PAGE 175, RECORDS OF KING COUNTY, WASHINGTON.
2. RECORD OF SURVEY, BOOK 270, PAGE 043, RECORDS OF KING COUNTY, WASHINGTON.
3. RECORD OF SURVEY, BOOK 199, PAGE 255, RECORDS OF KING COUNTY, WASHINGTON.
4. LOT LINE REVISION NO. SUB17-017, RECORDING NO. 2018080690003, RECORDS OF KING COUNTY, WASHINGTON.

JOB NO.: 161347

DATE: 11/5/20

DRAFTED BY: TLR

CHECKED BY: SRM

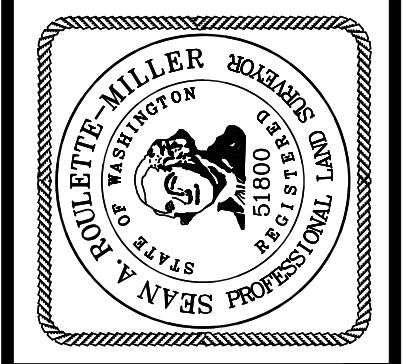
SCALE: 1" = N.T.S.

MERCER ISLAND
SHORT PLAT NO. SUB18-008

CONTROL MAP

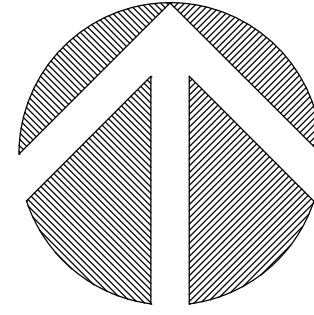


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 SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
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 PARCEL NO. 5021900400
 MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.:	161347
DATE:	11/5/20
DRAFTED BY:	TLR
CHECKED BY:	SRM
SCALE:	1" = 50'
2 OF 5	

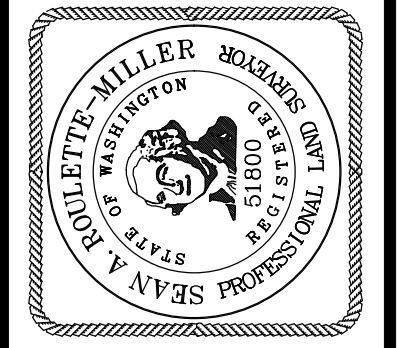


(IN FEET)
1 INCH = 20 FT.

LEGAL DESCRIPTIONS

PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON.

(LOT 14 AND THE EASTERLY 45 FEET OF THE SOUTH 110 FEET OF LOT 15, BLOCK 3, MADRONA CREST ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 42 OF PLATS, PAGE 12, IN KING COUNTY, WASHINGTON; TOGETHER WITH THAT PORTION OF LOTS 13 AND 15 IN SAID BLOCK 3, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 13; THENCE NORTH 88°43'22" WEST, ALONG THE SOUTH LINE OF SAID LOT 13, AND ALONG SAID SOUTH LINE EXTENDED WEST, A DISTANCE OF 146.83 FEET; THENCE NORTH 01°12'58" EAST 4.71 FEET; THENCE SOUTH 88°47'12" EAST 146.83 FEET, TO A POINT ON THE EAST LINE OF SAID LOT 13; THENCE SOUTH 01°12'48" WEST, ALONG THE EAST LINE OF SAID LOT 13, A DISTANCE OF 4.87 FEET, TO THE POINT OF BEGINNING.)



CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.: 161347

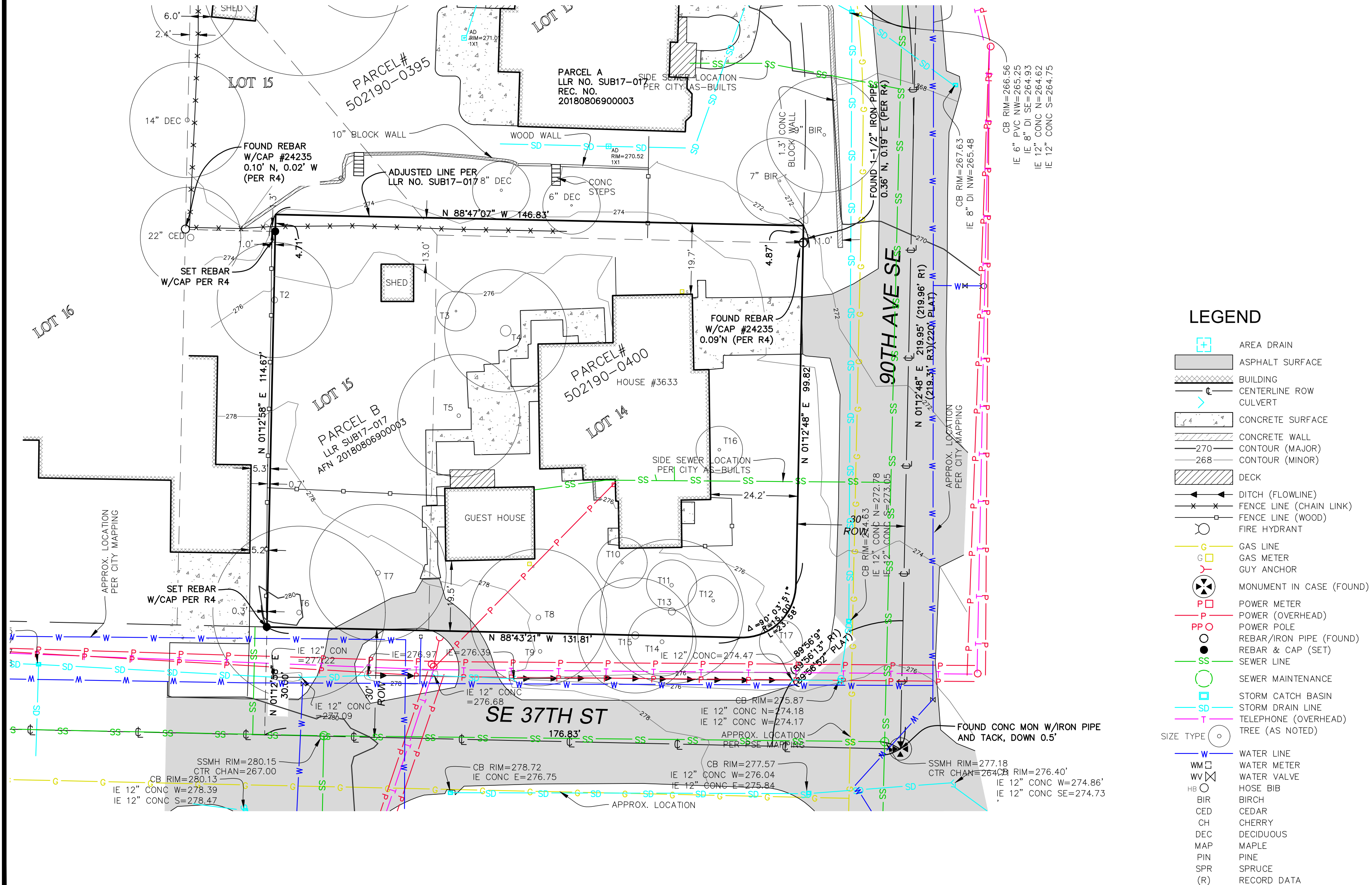
DATE: 11/5/20

DRAFTED BY: TLR

CHECKED BY: SRM

SCALE: 1" = 20'

3 OF 5



LEGEND

- AREA DRAIN
- ASPHALT SURFACE
- BUILDING
- CENTERLINE ROW
- CULVERT
- CONCRETE SURFACE
- CONCRETE WALL
- 270 CONTOUR (MAJOR)
- 268 CONTOUR (MINOR)
- DECK
- DITCH (FLOWLINE)
- FENCE LINE (CHAIN LINK)
- FENCE LINE (WOOD)
- FIRE HYDRANT
- GAS LINE
- GAS METER
- GUY ANCHOR
- MONUMENT IN CASE (FOUND)
- POWER METER
- POWER (OVERHEAD)
- POWER POLE
- REBAR/Iron PIPE (FOUND)
- REBAR & CAP (SET)
- SEWER LINE
- SEWER MAINTENANCE
- STORM CATCH BASIN
- STORM DRAIN LINE
- TELEPHONE (OVERHEAD)
- TREE (AS NOTED)
- WATER LINE
- WATER METER
- WATER VALVE
- HOSE BIB
- BIRCH
- CEDAR
- CHERRY
- DECIDUOUS
- MAPLE
- PINE
- SPRUCE
- (R) RECORD DATA

MERCER ISLAND
SHORT PLAT NO. SUB18-008

SITE PLAN

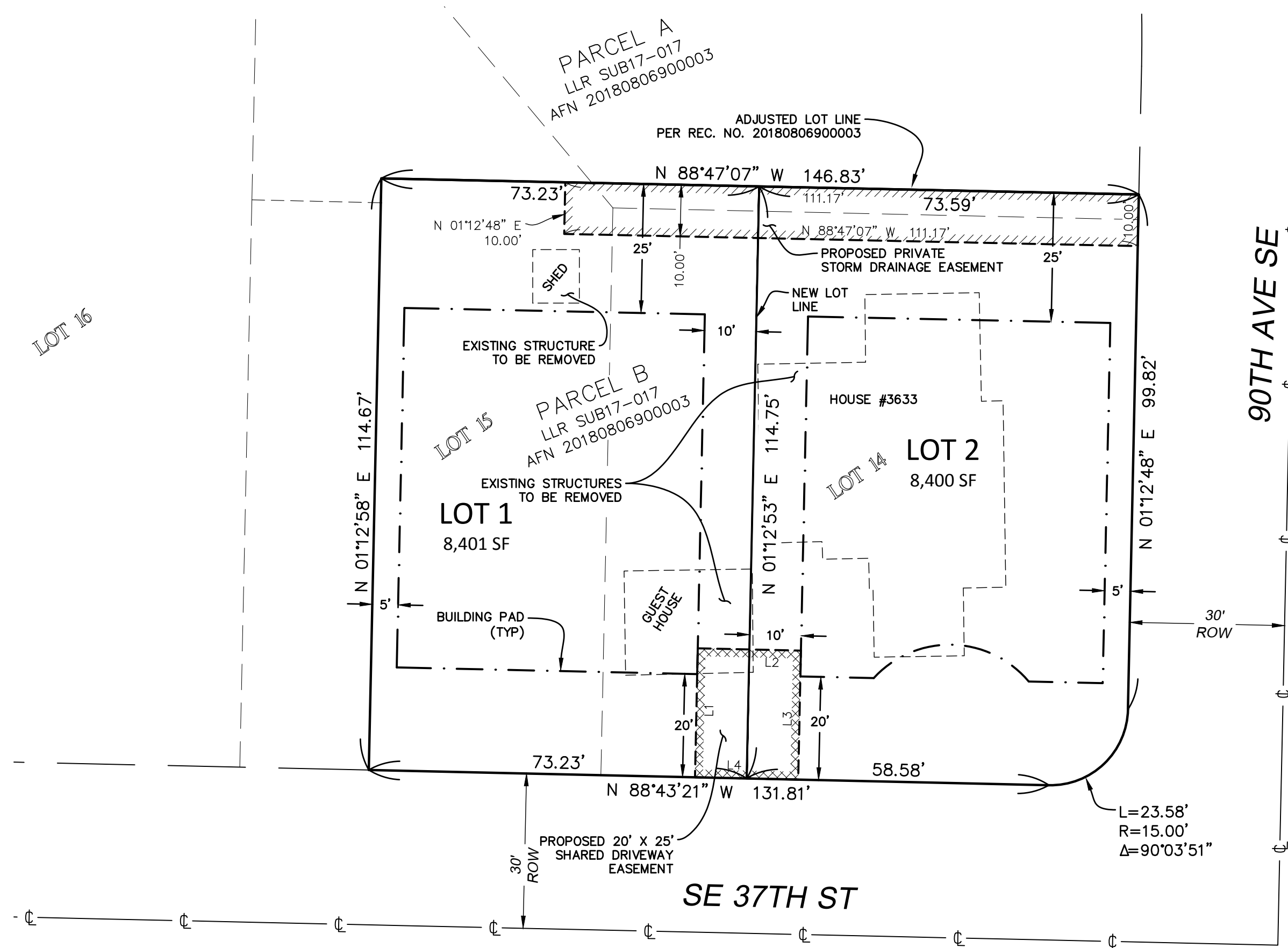
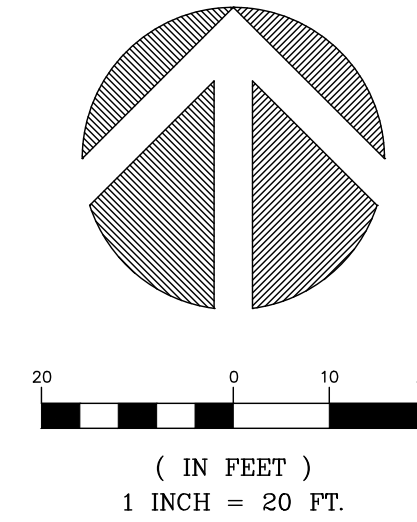
NEW LEGAL DESCRIPTIONS

LOT 1
THAT PORTION OF PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON, LYING WESTERLY OF THE FOLLOWING DESCRIBED LINE:
COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL B;
THENCE NORTH 88°47'07" WEST, ALONG THE NORTH LINE OF SAID PARCEL B, A DISTANCE OF 73.59 FEET, TO THE POINT OF BEGINNING;
THENCE SOUTH 01°12'53" WEST, A DISTANCE OF 114.75 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL B AND THE TERMINUS OF SAID LINE.

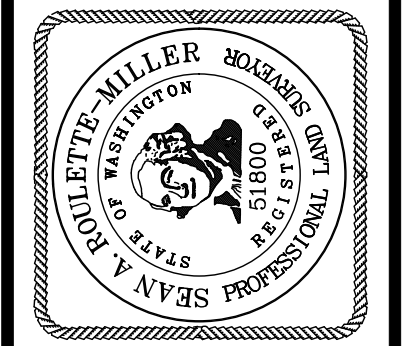
LOT 2
THAT PORTION OF PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE:
COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL B;
THENCE NORTH 88°47'07" WEST, ALONG THE NORTH LINE OF SAID PARCEL B, A DISTANCE OF 73.59 FEET, TO THE POINT OF BEGINNING;
THENCE SOUTH 01°12'53" WEST, A DISTANCE OF 114.75 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL B AND THE TERMINUS OF SAID LINE.

DRIVEWAY EASEMENT LINE TABLE

L1	N 01°12'35" E	25.00'
L2	N 88°47'07" W	20.00'
L3	N 01°12'35" E	25.00'
L4	N 88°47'07" W	20.00'



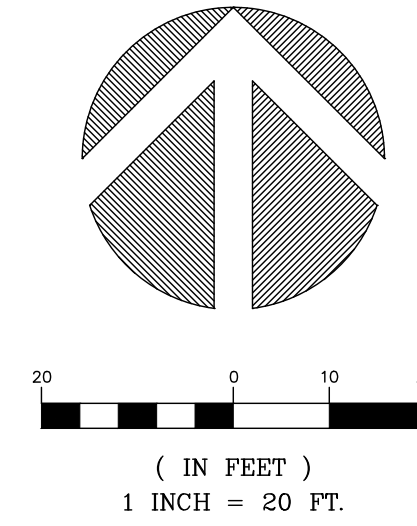
Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.:	161347
DATE:	11/5/20
DRAFTED BY:	TLR
CHECKED BY:	SRM
SCALE:	1" = 20'
4 OF 5	

TREE RETENTION PLAN



TREE INVENTORY
PER ARBORIST REPORT BY SUPERIOR NW ENTERPRISES
DATED JUNE 1, 2020

ID#	DIA	TYPE	RETAINED
T1	N/A	OFFSITE	N/A
T2	22"	DOGWOOD	
T3	8"	WEeping CHERRY	
T4	27"	SIBERIAN ELM	
T5	14"	JAPANESE VINE MAPLE	
T6	12"+13"+16"	BIG LEAF MAPLE	
T7	15"+17.5"+18"	BIG LEAF MAPLE	
T8	16"	APPLE	
T9	N/A	STUMP	
T10	16"	FRUITING PEAR	
T11	10"	COLORADO BLUE SPRUCE	
T12	9"	SCOTT'S PINE	X
T13	24"	DOUGLAS FIR	X
T14	13"	WHITE SPRUCE	X
T15	11"+16"	WHITE SPRUCE	X
T16	12"	WEeping BEECH	
T17	6"	JAPANESE VINE MAPLE	X

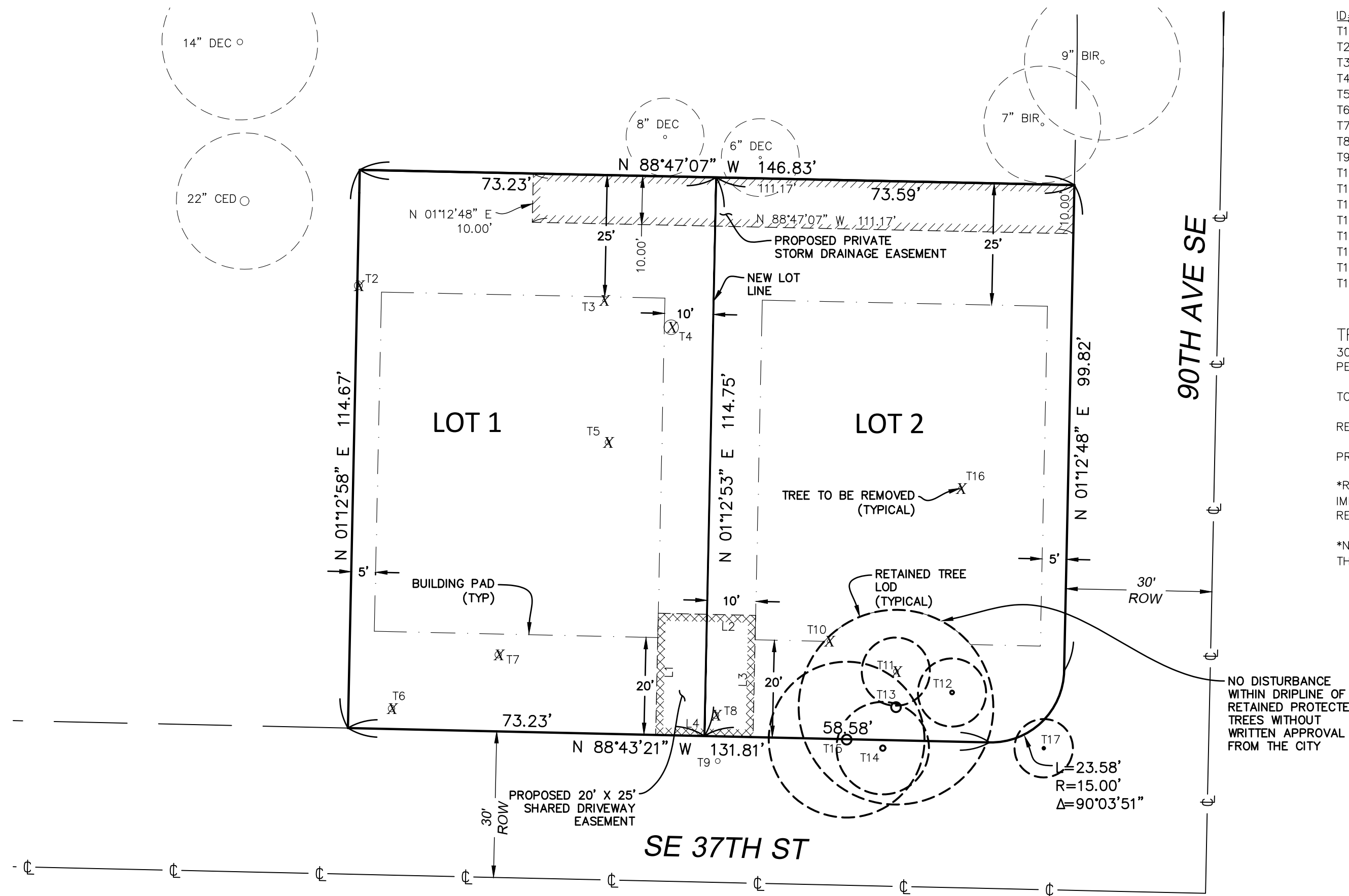
TREE RETENTION

30% TREE RETENTION REQUIRED
PER MCC 19.10.060

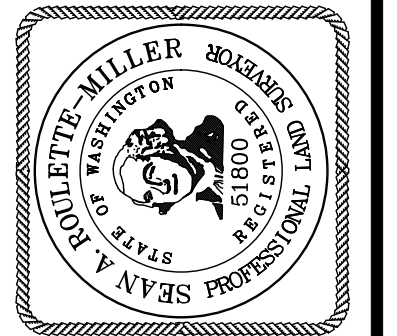
TOTAL TREES (>10")	12
REQUIRED RETENTION	3.6 (30%)
PROPOSED RETENTION	5 (42%)

*REMOVAL OF TREES INDICATED ON THIS PLAN WILL BE REQUIRED DUE TO IMPACTS FROM DEMO OF EXISTING STRUCTURES/IMPROVEMENTS AND/OR RECOMMENDATIONS FROM THE CONSULTING ARBORIST.

*NOTE: LIMIT OF DISTURBANCE (LOD) FOR RETAINED TREES IS SHOWN PER THE ARBORIST REPORT PREPARED BY BRUCE MAC COY, DATED 11/5/20.



NO DISTURBANCE WITHIN DRIPLINE OF RETAINED PROTECTED TREES WITHOUT WRITTEN APPROVAL FROM THE CITY



CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.: 161347

DATE: 11/5/20

DRAFTED BY: TLR

CHECKED BY: SRM

SCALE: 1" = 20'

EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE	
FILTER FABRIC FENCE (SILT FENCE)	(SF)
STABILIZED CONSTRUCTION ENTRANCE	(CE)
CATCH BASIN INLET PROTECTION	(IP)
INTERCEPTOR SWALE SEE COR DWG 504, TYPE A TEMPORARY SWALE	(IS)
TREE PROTECTION FENCING	(TP)
CHECK DAM	(CD)
STRAW WATTLES	(SW)
	USE AS NEEDED

LEGAL DESCRIPTION

THAT PORTION OF PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON, LYING WESTERLY OF THE FOLLOWING DESCRIBED LINE:
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 THENCE NORTH 88°47'07" WEST, ALONG THE NORTH LINE OF SAID PARCEL B, A DISTANCE OF 73.59 FEET, TO THE POINT OF BEGINNING;
 THENCE SOUTH 01°12'53" WEST, A DISTANCE OF 114.75 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL B AND THE TERMINUS OF SAID LINE.

ORGANIC SOIL REQUIREMENT

MINIMUM 10% ORGANIC MULCH & COMPOST SOIL REQUIRED

SOIL AMENDMENT REQUIRED

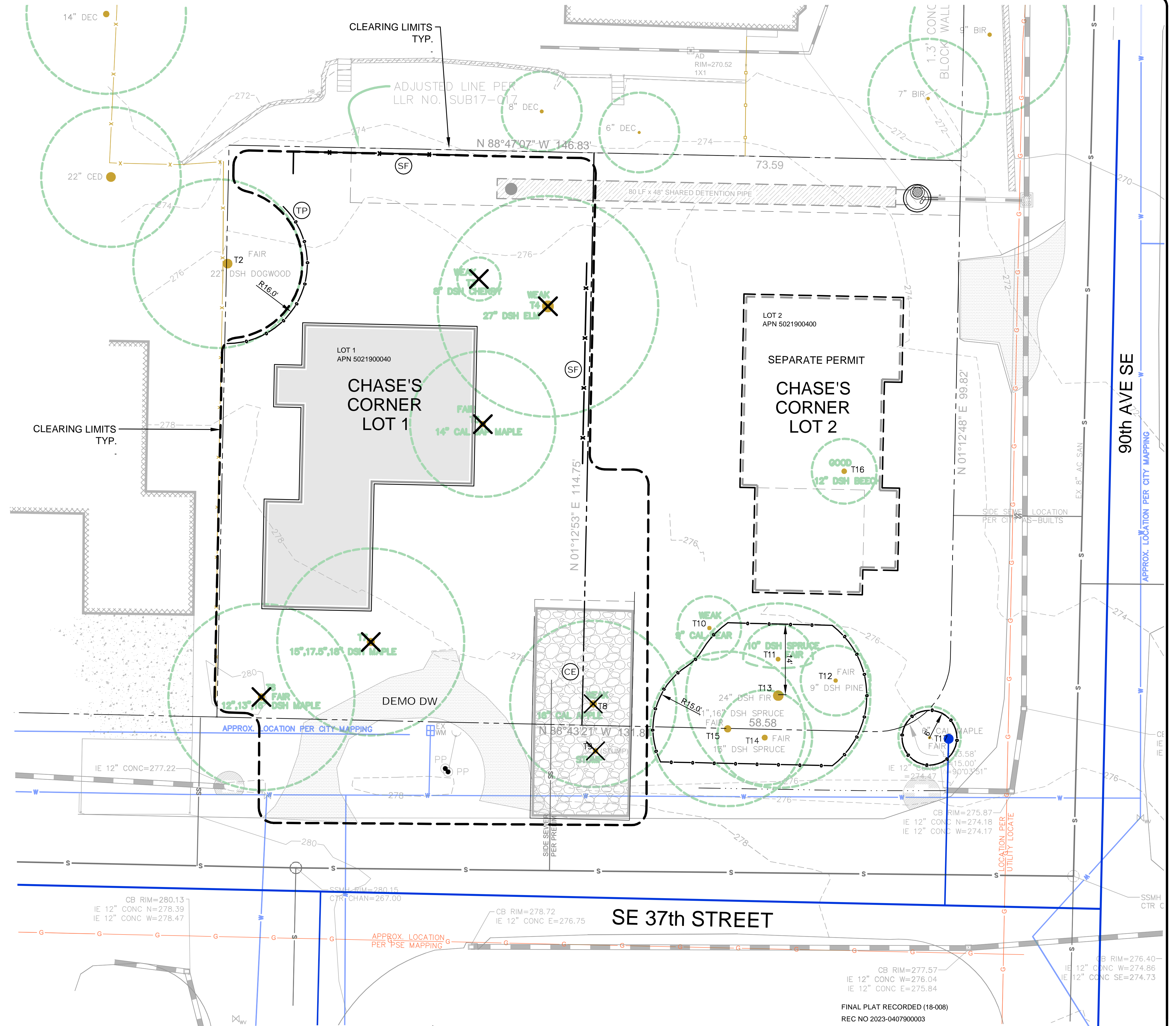
COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

TREE PROTECTION

(TP)CHAIN LINK FENCE REQ FOR TREE PROTECTION



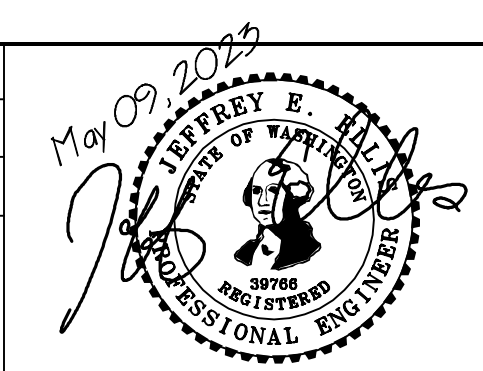
FINAL PLAT RECORDED (18-008)
REC NO 2023-0407900003

NO.	DATE	BY	REVISIONS

APPLICANT:
RKK CONSTRUCTION
3056 70th AVE SE
MERCER ISLAND, WA 98040
PHONE: 206-236-2920
FAX: 206-232-1287



DATE: May 09, 2023
JOB# 1779
DRAFTED: SS DESIGN: DE
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS

102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.WA

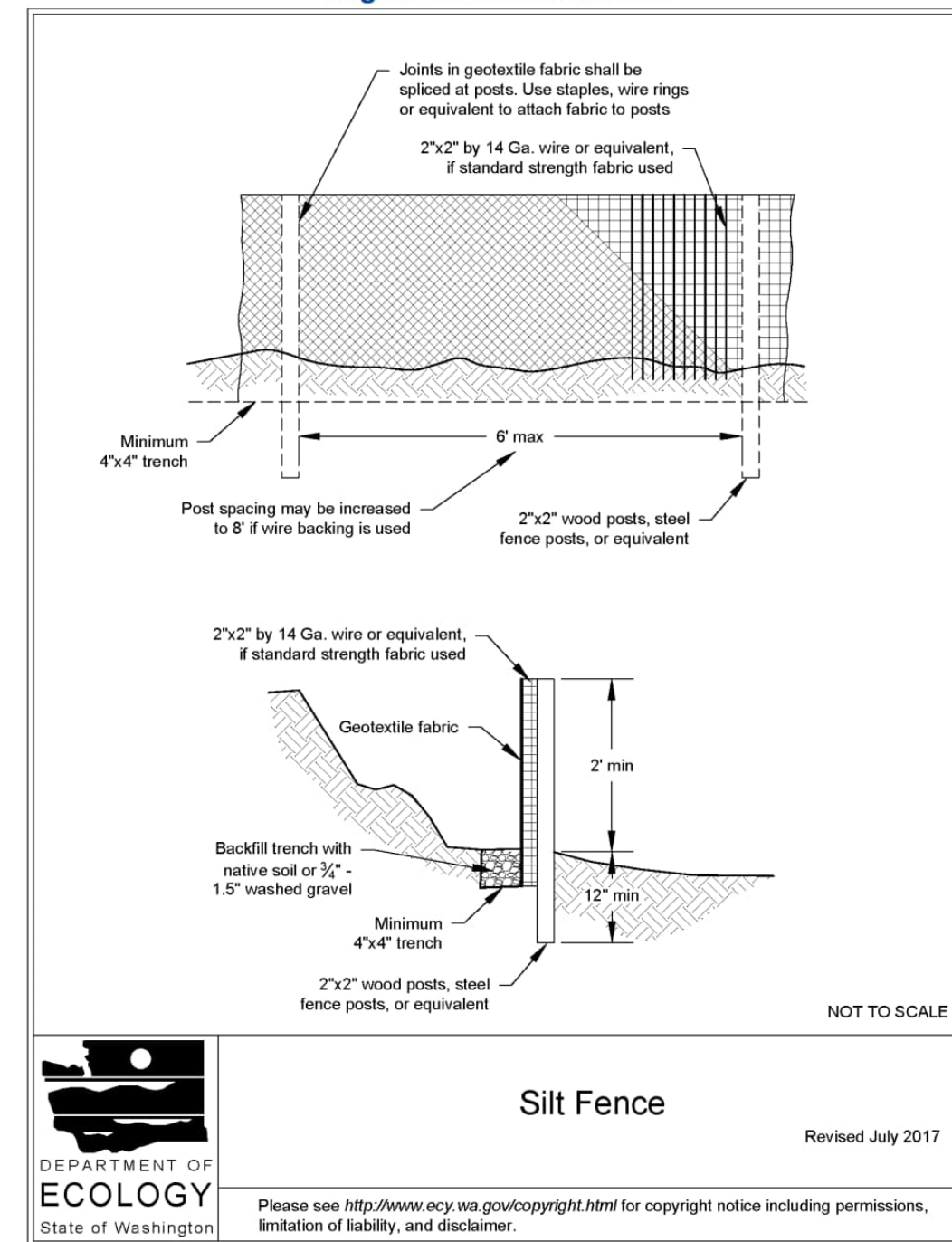
TESC PLAN TREE RETENTION PLAN

CHASE'S CORNER - LOT 1
8908 SE 37th STREET, MERCER ISLAND, WA 98040

DRAWING NO:
C1.0
APN 502190-0040
SUB18-008

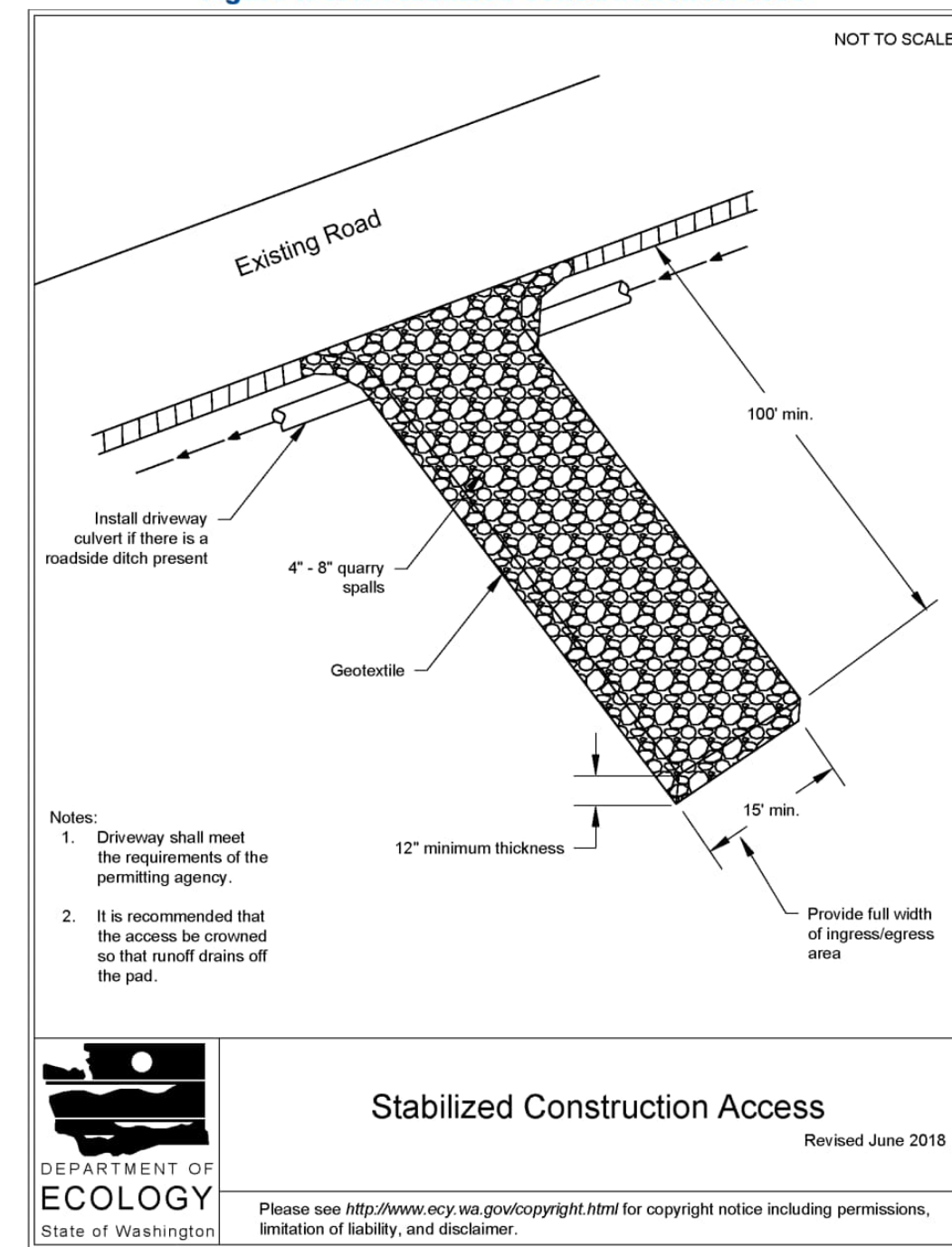
SILT FENCE DETAIL **DOE**

Figure II-3.22: Silt Fence



CONSTRUCTION ENTRANCE **DOE**

Figure II-3.1: Stabilized Construction Access



RECOMMENDED CONSTRUCTION SEQUENCE

- A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:
- HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
 - POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
 - FLAG OR FENCE CLEARING LIMITS.
 - INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 - CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
 - COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
 - STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
 - SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE B MPS IF APPROPRIATE.

EROSION CONTROL NOTES

- D.8.2 STANDARD ESC PLAN NOTES
THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE NUMBERED 1, 2, 4, 5, 6, ETC.
- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 - THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
 - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
 - STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
 - THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
 - THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.
 - THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
 - ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
 - ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
 - THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.
 - AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 - ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
 - COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
 - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDING IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDING WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

CITY NOTES

- ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
- APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
- CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
- CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
- AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.424.5555
- DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED
- EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
- PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
- CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
- PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
- ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
- INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
- OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
- ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
- SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
- WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
- REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
- THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
- NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

DENUDED AREAS REQUIREMENTS

- APRIL 1 TO SEPT 30
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.
- OCT 1 TO MARCH 31
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

FINAL PLAT RECORDED (18-008)
REC NO 2023-0407900003

NO.	DATE	BY	REVISIONS

APPLICANT:
RKK CONSTRUCTION
3056 70th AVE SE
MERCER ISLAND, WA 98040
PHONE: 206-236-2920
FAX: 206-232-1287



DATE: May 09, 2023
JOB# 1779
DRAFTED: SS DESIGN: DE
DIGITAL SIGNATURE

May 09 2023



CIVIL ENGINEERING SOLUTIONS

102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

TESC & CITY NOTES
TESC DETAILS
CHASE'S CORNER - LOT 1
8908 SE 37th STREET, MERCER ISLAND, WA 98040

DRAWING NO:
C1.2
APN 502190-0040
SUB18-008

SANITARY SEWER IMPROVEMENTS

- ① -
- ② - 6" SDR 35 PVC SANITARY SEWER(SS) @ MIN 1.0 %.
- ⑦ - CCTV INSPECTION VIDEO REQUIRED PRIOR TO FINAL PROJECT ACCEPTANCE. CONTRACTOR SHALL CORRECT ALL DEFICIENCIES FOUND DURING CCTV INSPECTION.

WATER IMPROVEMENTS

- ⑩ - 3/4" x 1" WATER SERVICE & METER PIT PER DETAIL CK-W.18. PLACE WATER METER 1' BEHIND BACK OF CURB PER DETAIL CK-W.17.
- ⑪ - 1.5" DIA WATER SERVICE, 250 PSI HDPE WATER (ASTM D2239) FROM METER TO HOUSE. RECOMMENDED DEPTH=36". COORDINATE HOUSE ENTRY WITH BUILDER/OWNER
- ⑭ -

STORM DRAIN KEY NOTES

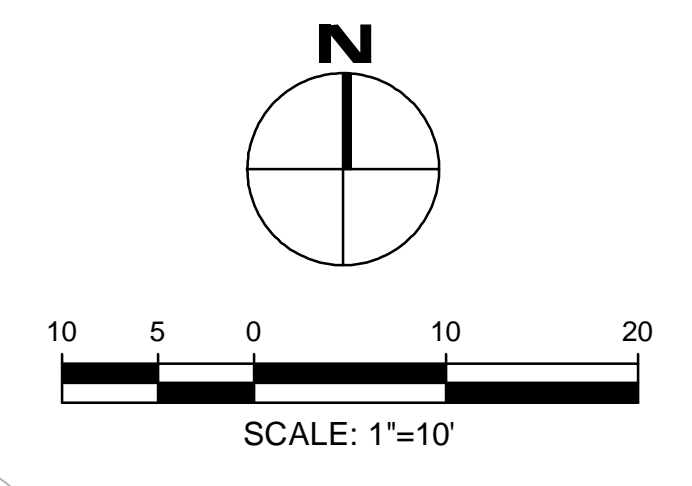
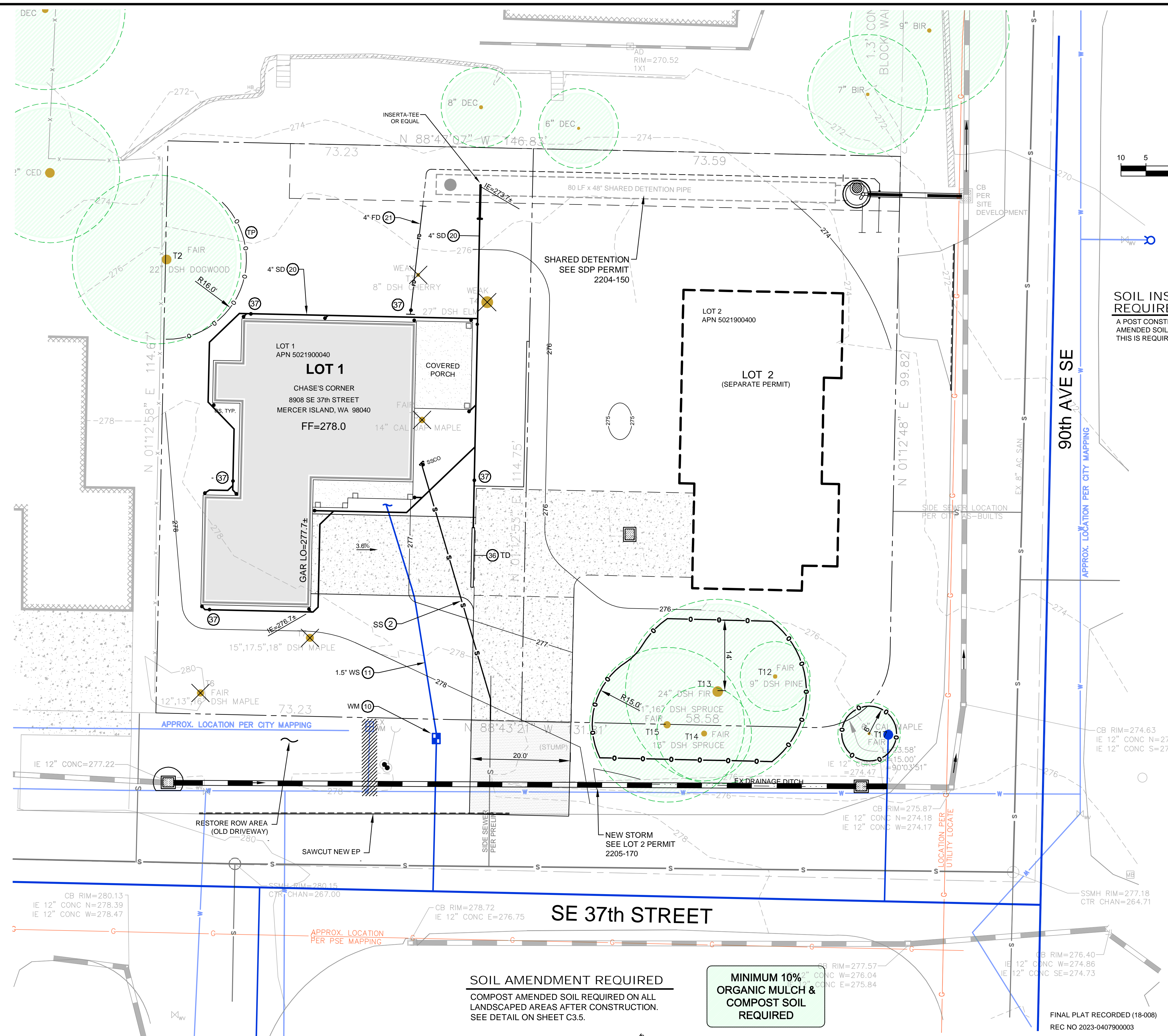
- ⑳ - 4" STORM DRAIN (ASTM 3034 PVC) @ MIN 2 % GRADE
- ㉑ - 4" FOUNDATION DRAIN @ MIN 1.0 % GRADE
- ㉒ -
- ㉓ -
- ㉔ - SEE LOT 2 PERMIT FOR 12" STORM DRAIN
- ㉕ -

STORM STRUCTURE KEY NOTES

- ③① -
- ③② -
- ③③ -
- ③④ -
- ③⑤ -
- ③⑥ - 6" WIDE NDS DURASLOPE TRENCH DRAIN KIT OR EQUAL. USE GALVANIZED STEEL, VEHICLE RATED GRATE.
- ③⑦ - ROOF STORM DRAIN CLEANOUT (CO) WITH CARSON PROTECTIVE COVER OR EQUAL.
- ③⑧ -
- ③⑨ -
- ④① -
- ④② -
- ④③ -
- ④④ -
- ④⑤ -
- ④⑥ -

STORMWATER BMP KEY NOTES

- ④⑦ - AMEND UPPER 8-INCHES OF SOIL WITH COMPOST PER CITY DETAIL CK-E.12 AND DOE BMP DETAIL TR-13: COORDINATE WITH LANDSCAPING CONTRACTOR.
- ⑤① -
- ⑤② -
- ⑤③ -
- ⑤④ -
- ⑤⑤ -
- ⑤⑥ -
- ⑤⑦ -
- ⑤⑧ -



SOIL INSPECTION REQUIRED BY ENGINEER
 A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

SOIL AMENDMENT REQUIRED
 COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON SHEET C3.5.

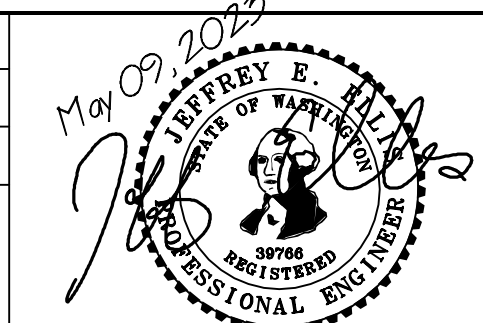
MINIMUM 10% ORGANIC MULCH & COMPOST SOIL REQUIRED

NO.	DATE	BY	REVISIONS

APPLICANT:
 RKK CONSTRUCTION
 3056 70th AVE SE
 MERCER ISLAND, WA 98040
 PHONE: 206-236-2920
 FAX: 206-232-1287



DATE: May 09, 2023
 JOB#: 1779
 DRAFTED: SS DESIGN: DE
 DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
 102 NW CANAL STREET SEATTLE, WA 98107
 PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

LOT 1 DRAINAGE/CIVIL PLAN

CHASE'S CORNER - LOT 1
 8908 SE 37th STREET, MERCER ISLAND, WA 98040

DRAWING NO:
C2.0
 APN 502190-0040
 SUB18-008

FINAL PLAT RECORDED (18-008)
 REC NO 2023-0407900003

SOIL INSPECTION REQUIRED BY
PROJECT CIVIL ENGINEER

MINIMUM 10% ORGANIC -
COMPOST SOIL REQUIRED

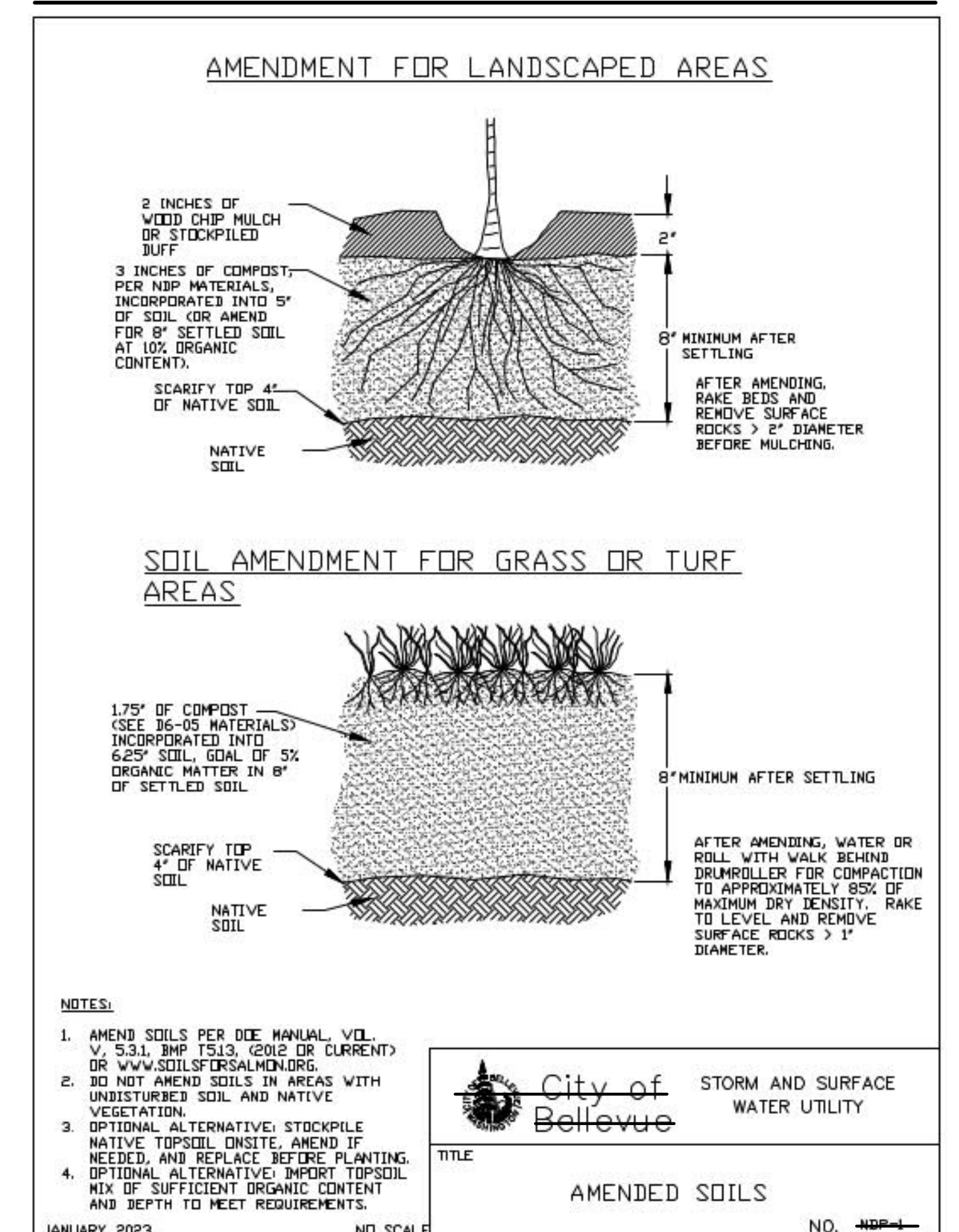
SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS
AFTER CONSTRUCTION. SEE DETAIL BELOW.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED
SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER.
THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

COMPOST AMENDED SOIL SPEC



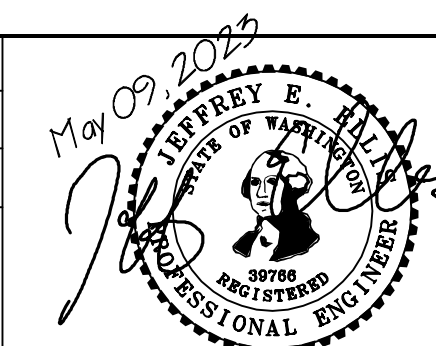
FINAL PLAT RECORDED (18-008)
REC NO 2023-040790003

NO.	DATE	BY	REVISIONS

APPLICANT:
RKK CONSTRUCTION
3056 70th AVE SE
MERCER ISLAND, WA 98040
PHONE: 206-236-2920
FAX: 206-232-1287



DATE: May 09, 2023
JOB# 1779
DRAFTED: SS DESIGN: SS
DIGITAL SIGNATURE



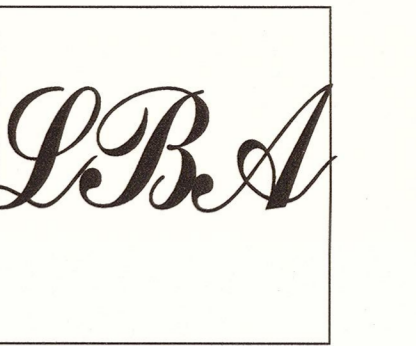
CIVIL ENGINEERING SOLUTIONS

102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

STORMWATER BMP DETAILS

CHASE'S CORNER - LOT 1
8908 SE 37th STREET, MERCER ISLAND, WA 98040

DRAWING NO:
C3.5
APN 502190-0040
SUB18-008

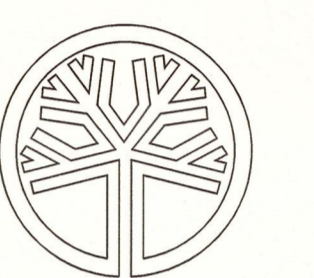


Lauchlin R Bethune
Associates, Inc.
ASLA

LANDSCAPE ARCHITECTURE
& PLANNING, ASLA

P.O. Box 1442
Maple Valley, Washington 98038
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e-mail:
lauch@bethuneassociates.com
www.bethuneassociates.com



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Lauchlin R. Bethune
LAUHLIN R. BETHUNE
CERTIFICATE NO. 462

REVISIONS

RKK
CONSTRUCTION
LOT 1

36th 90TH AVE SE
MERCER ISLAND, WASHINGTON

LANDSCAPE
TREE
PLAN

JOB NO. #222152

SCALE: 1"=10'-0"
DATE: 10/16/22
DRAWN: LRB
CHK: LRB
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SHEET
L 1.0

PLANT MATERIAL LEGEND

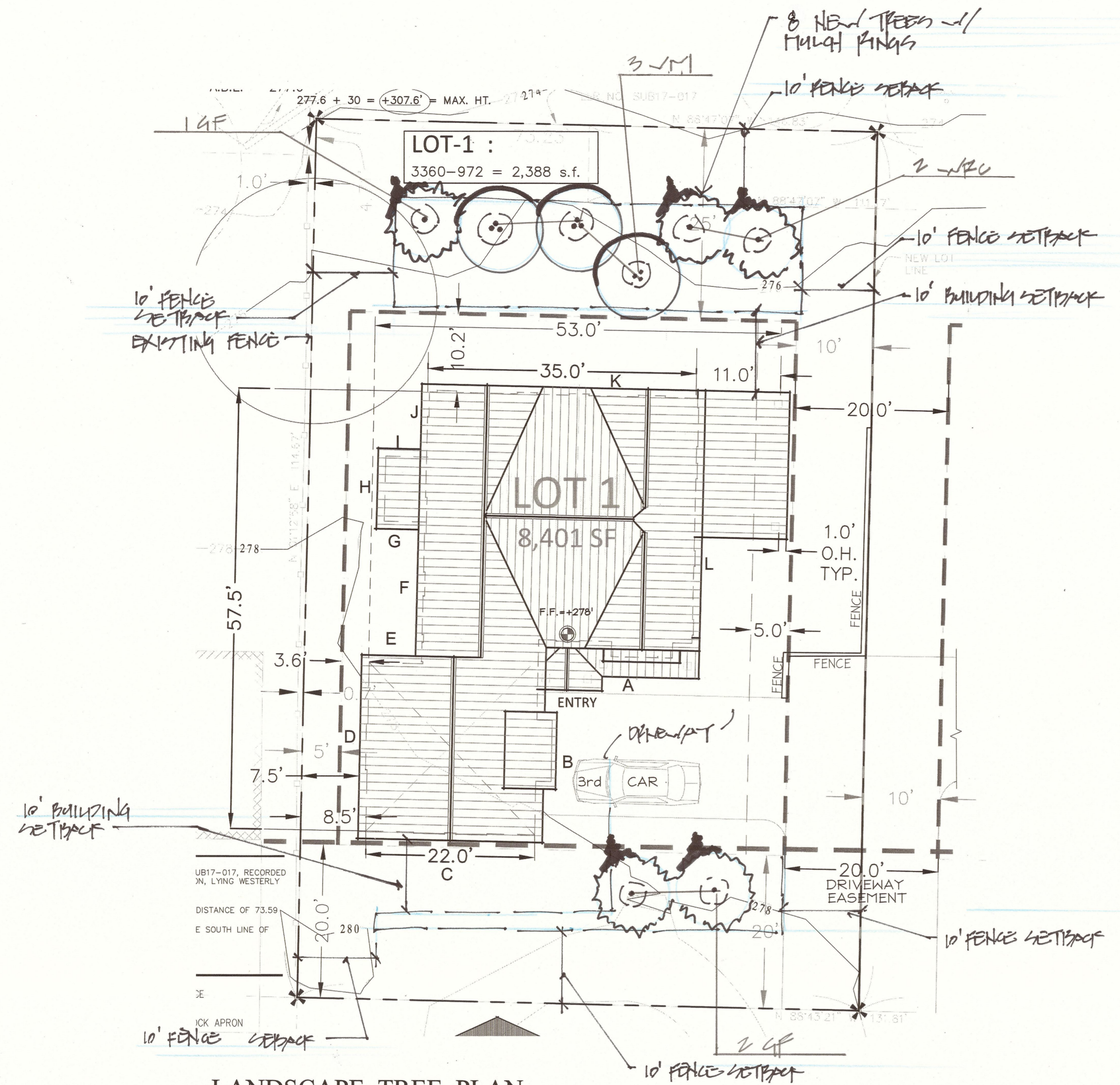
Abrev.	Common Name/Botanical Name	Size	QTY
GF	Grand Fir/Abies grandis	6' hgt./B&B	3
VM	Vine Maple/Acer circinatum	10' hgt./B&B	3
WRC	Western Red Cedar/Thuja plicata	6' hgt./B&B	2

GENERAL SOIL NOTES

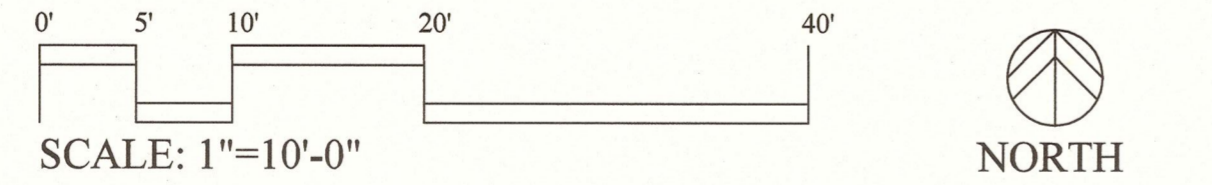
- Pocket plant proposed plant material with 50% on-site soil and 50% Gro-Co from Sawdust Supply, Seattle, WA.
- Add polymers in planting hole per manufactures specifications and install 2" depth hem fir mulch ring 36" wide around all trees.

WATERING PROGRAM

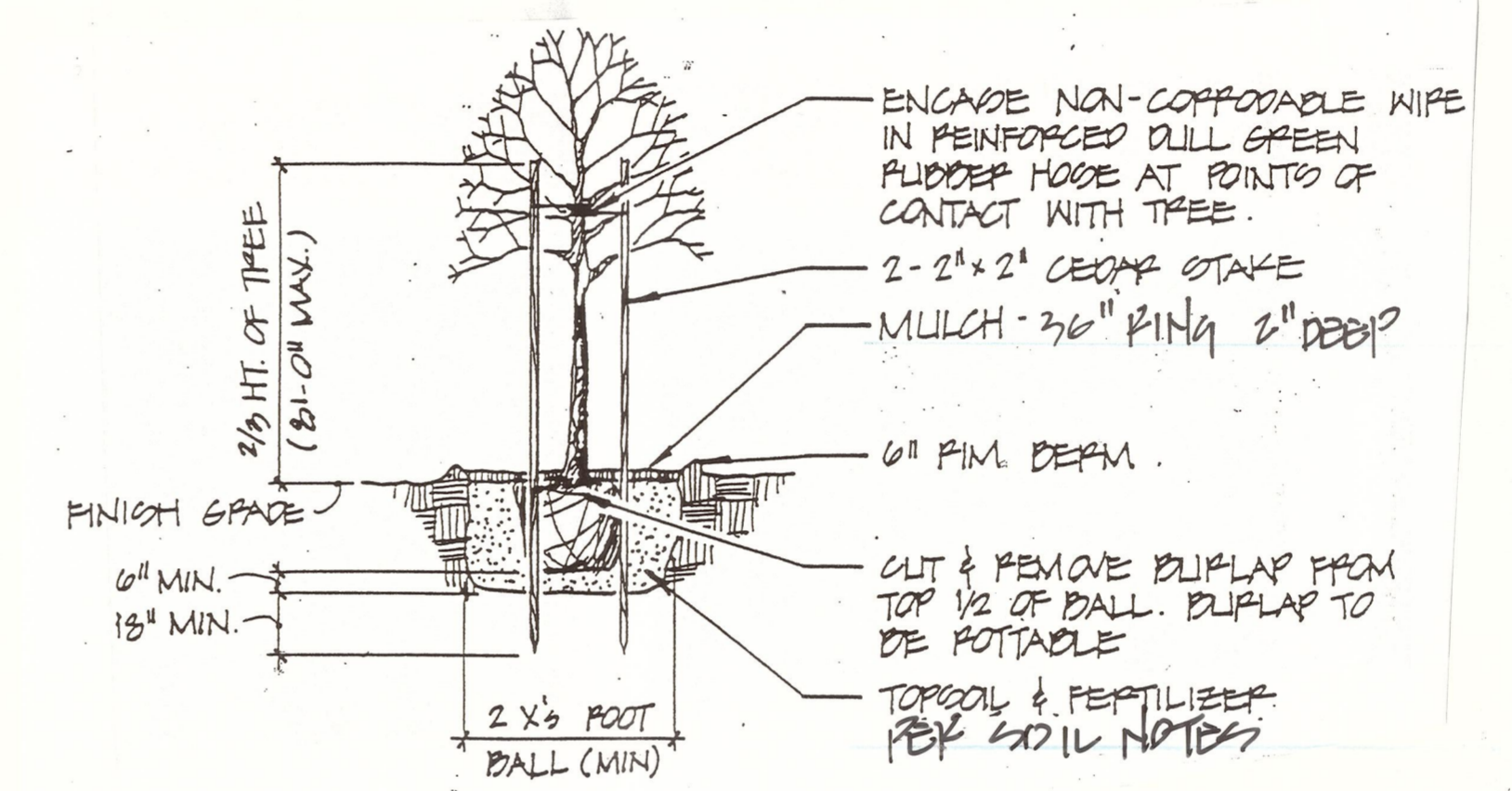
All trees to be planted with compost and polymers to help retain moisture.
All trees to have 36" wide mulch ring to help retain moisture and out compete grasses.
All trees to have Gator watering bags - 2 Gator water bags per tree Gator bags are to be monitored and refilled every third day.
Once domestic water is working in a hose bib on the house the trees shall be put on a hose bib controller and drip line though out the remainder of construction.
Upon completion of the house the trees drip irrigation system will be included in the house system irrigation and tied to an automatic controller.



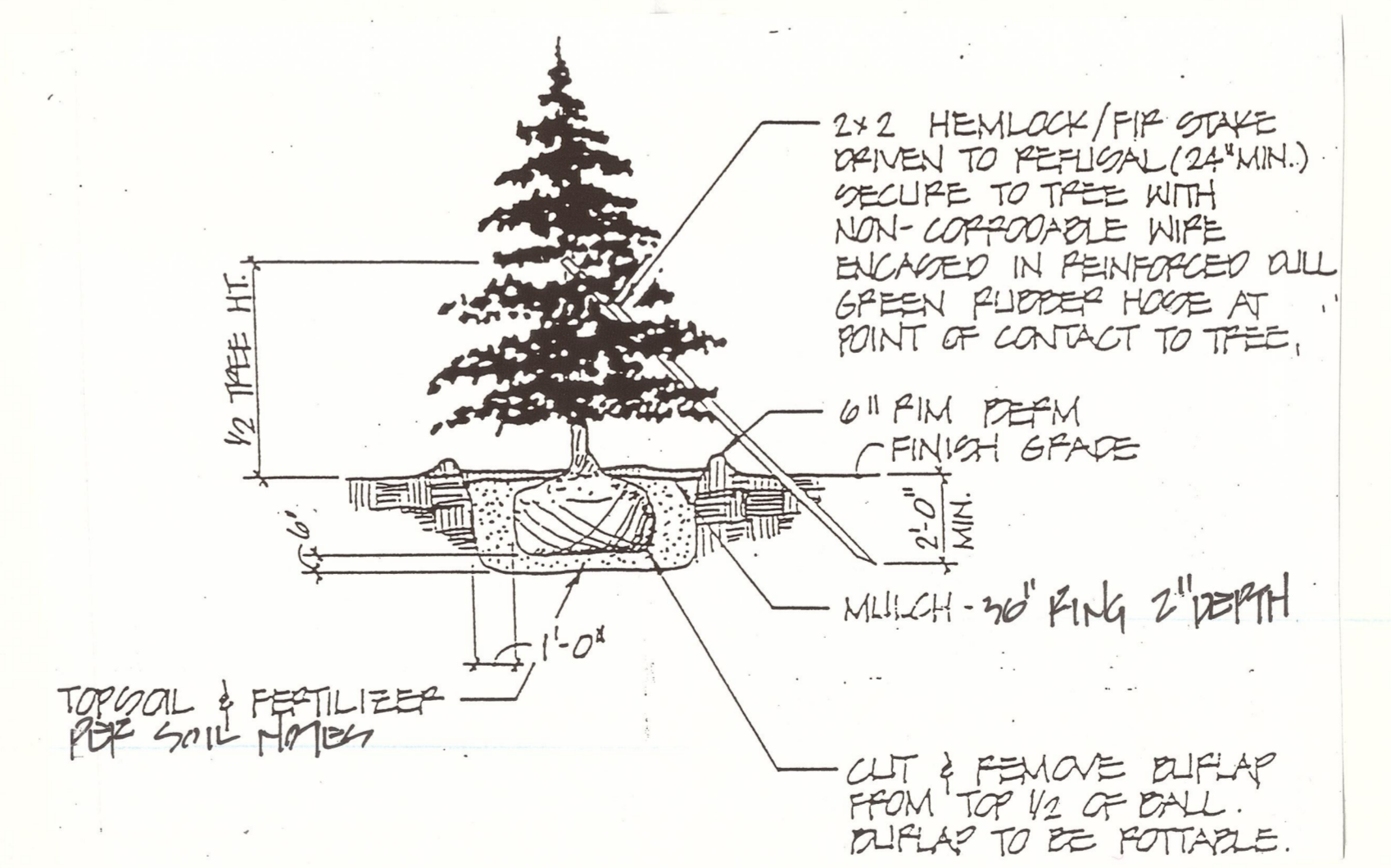
LANDSCAPE TREE PLAN



BASE MAP FROM RKK CONSTRUCTION; MERCER ISLAND



DECIDUOUS PLANTING DETAIL



CONIFER PLANTING DETAIL

FOR SUBMITTAL ONLY
NOT FOR CONSTRUCTION USE

BUILDING CODE: 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), AND BY REFERENCE, THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY LOCAL JURISDICTION.
ROOF LIVE LOAD = 25 PSF SNOW (GROUND SNOW = 30 PSF)
ROOF DEAD LOAD = 15 PSF
FLOOR LIVE LOAD = 40 PSF (30 PSF AT SLEEPING AREAS)
FLOOR DEAD LOAD = 15 PSF
BALCONIES & DECKS = 60 PSF (LIVE LOAD) + 10 PSF (DEAD LOAD)
WIND SPEED (NOMINAL 3 SEC GUST) = 100 MPH FOR RISK CATEGORY II, EXPOSURE "C", K_{z1}+100
SOIL SITE CLASS "D", SEISMIC CATEGORY D1/D2, S_s=150, S_w=100
OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE: V-B

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO ARCHITECT AND/OR ENGINEER OF RECORD FOR RESOLUTION PRIOR TO COMMENCING WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECT AND/OR ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT THE TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM:
 - ALTERNATIVE 1- JOIST/BEAM MANUFACTURER PLANS.
 - MANUFACTURED TRUSS DESIGNS AND LAYOUTS

GENERAL

FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING OF 1500 PSF. EXTERIOR FOOTINGS SHALL BEAR 18" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.
 BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 0.229"x3"x3" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.
 FOUNDATION SILL BOLTS (MIN 1" EMBED) TO BE 5/8" DIA. @ 4'-0" (4'-0" AT BUILDINGS OVER 2 STORIES) UNO. METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON STRONG-TIE OR USP STEEL CONNECTORS.

CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE:

TYPE OR LOCATIONS OF CONCRETE CONSTRUCTION	MINIMUM COMPRESSIVE STRENGTH (F _C) AT 28 DAYS	MODERATE WEATHERING POTENTIAL
BASEMENT WALLS, FOUNDATION FOOTINGS, BASEMENT SLABS, 4 INTERIOR SLABS ON GRADE (EXCEPT GARAGE) NOT EXPOSED TO THE WEATHER	2500 psi	
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, PORCHES, STEPS, GARAGE & CARPORT SLABS, 4 OTHER CONCRETE WORK EXPOSED TO THE WEATHER	3000 psi (6% air entrained v/v 1%)	

CONCRETE MIXTURE SHALL CONTAIN AT LEAST OF 5 1/2 SACKS OF CEMENT PER CUBIC YARD CONCRETE "BATCH TICKET" SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL. VERTICAL REINFORCING STEEL TO COMPLY WITH ASTM A615 GRADE 40 (GRADE 60 AT WALLS RETAINING MORE THAN 4 FT OF SOIL)

CARPENTRY

GENERAL

ALL NAILING TO COMPLY WITH REQUIREMENTS OF IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.10(1). ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE TREATED LUMBER SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH ANFA M4. PER IRC 319.3, FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.
 6" MIN. CLEARANCE BETWEEN WOOD AND EARTH.
 12" MIN. CLEARANCE BETWEEN FLOOR BEAMS AND EARTH.
 18" MIN. CLEARANCE BETWEEN FLOOR JOIST AND EARTH.

FASTENER DIMENSIONS

ALL NAILS SPECIFIED ON THIS PLAN SHALL BE OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS):
 8d COMMON (0.131" DIA, 2-1/2" LONG), 8d BOX (0.131" DIA, 2-1/2" LONG), 10d COMMON (0.148" DIA, 3" LONG), 10d BOX (0.128" DIA, 3" LONG), 16d COMMON (0.162" DIA, 3-1/2" LONG), 16d SINKER (0.148" DIA, 3-1/4" LONG), 5d COOLER (0.086" DIA, 1-5/8" LONG), 6d COOLER (0.092" DIA, 1-7/8" LONG)

LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE WEST COAST LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE FOLLOWING UNADJUSTED MINIMUM DESIGN PROPERTIES, UNLESS NOTED OTHERWISE.

JOISTS:	WOOD TYPE:
2x4 to 2x8	DF-L ♀ - F _b +900 psi, F _v +180 psi, F _c +1350 psi, E=1600000psi
2x10 OR LARGER	DF-L ♀ - F _b +900 psi, F _v +180 psi, F _c +1350 psi, E=1600000psi
BEAM:	
4x	DF-L ♀ - F _b +900 psi, F _v +180 psi, F _c +1350 psi, E=1600000psi
6x OR LARGER	DF-L ♀ - F _b +875 psi, F _v +170 psi, F _c +600 psi, E=1300000psi
STUDS:	
2x4 & 2x6	DF STUD - F _b +700 psi, F _v +180 psi, F _c +850 psi, E=1400000psi
2x8 OR LARGER	DF-L ♀ - F _b +900 psi, F _v +180 psi, F _c +1350 psi, E=1600000psi
FOOTS:	
4x4	DF-L ♀ - F _b +900 psi, F _v +180 psi, F _c +1350 psi, E=1600000psi
4x6	DF-L ♀ - F _b +900 psi, F _v +180 psi, F _c +1350 psi, E=1600000psi
6x6 OR LARGER	DF-L ♀ - F _b +1200 psi, F _v +170 psi, F _c +1000 psi, E=1600000psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES:
 F_b = 2,400 PSI, F_v = 165 PSI, F_c = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND I-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL. DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

BEAMS DESIGNATED AS "L9L" SHALL HAVE THE MINIMUM PROPERTIES:
 F_b = 2,325 PSI, F_v = 310 PSI, F_c = 800 PSI (PERPENDICULAR), E = 1,550,000 PSI.

BEAMS DESIGNATED AS "LVL" SHALL HAVE THE MINIMUM PROPERTIES:
 F_b = 2,600 PSI, F_v = 285 PSI, F_c = 750 PSI (PERPENDICULAR), E = 1,900,000 PSI.

BEAMS DESIGNATED AS "PSL" SHALL HAVE THE MINIMUM PROPERTIES:
 F_b = 2,300 PSI, F_v = 230 PSI, F_c = 750 PSI (PERPENDICULAR), E = 2,000,000 PSI.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:
 FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

PREFABRICATED WOOD TRUSSES:

PRE-FABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOADS & IMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES. TRUSSES SHALL BE DESIGNED & STAMPED BY A REGISTERED DESIGN PROFESSIONAL AND FABRICATED ONLY FROM THOSE DESIGNS. NON-BEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD W/ AN APPROVED FASTENER (SUCH AS SIMPSON STC) TO ENSURE THAT THE TRUSS BOTTOM CHORD DOES NOT BEAR ON THE WALL. ALL PERMANENT TRUSS MEMBER BRACING SHALL BE INSTALLED PER THE TRUSS DESIGN DRAWINGS.

ROOF/WALL/FLOOR SHEATHING

ROOF SHEATHING SHALL BE MINIMUM 3/4" SHEATHING W/ 3/4" SPAN INDEX UNO. WALL SHEATHING INCLUDING GABLES SHALL BE 3/4" SHEATHING W/ 3/4" SPAN INDEX MINIMUM UNO. FLOOR SHEATHING SHALL BE MINIMUM 3/4" T&G SHEATHING W/ 40% SPAN INDEX MINIMUM UNO. MINIMUM NAILING SHALL BE 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN PANEL FIELD UNO ON SHEAR WALL SCHEDULE. ROOF AND FLOOR SHEATHING SHALL BE LAID OUT W/ LONG DIMENSION PERPENDICULAR TO FRAMING MEMBERS W/ END LAP'S STAGGERED. WALL SHEATHING INCLUDING GABLES SHALL BE FULLY BLOCKED & EDGE NAILED AT ALL UNSUPPORTED SHEATHING PANEL EDGES.

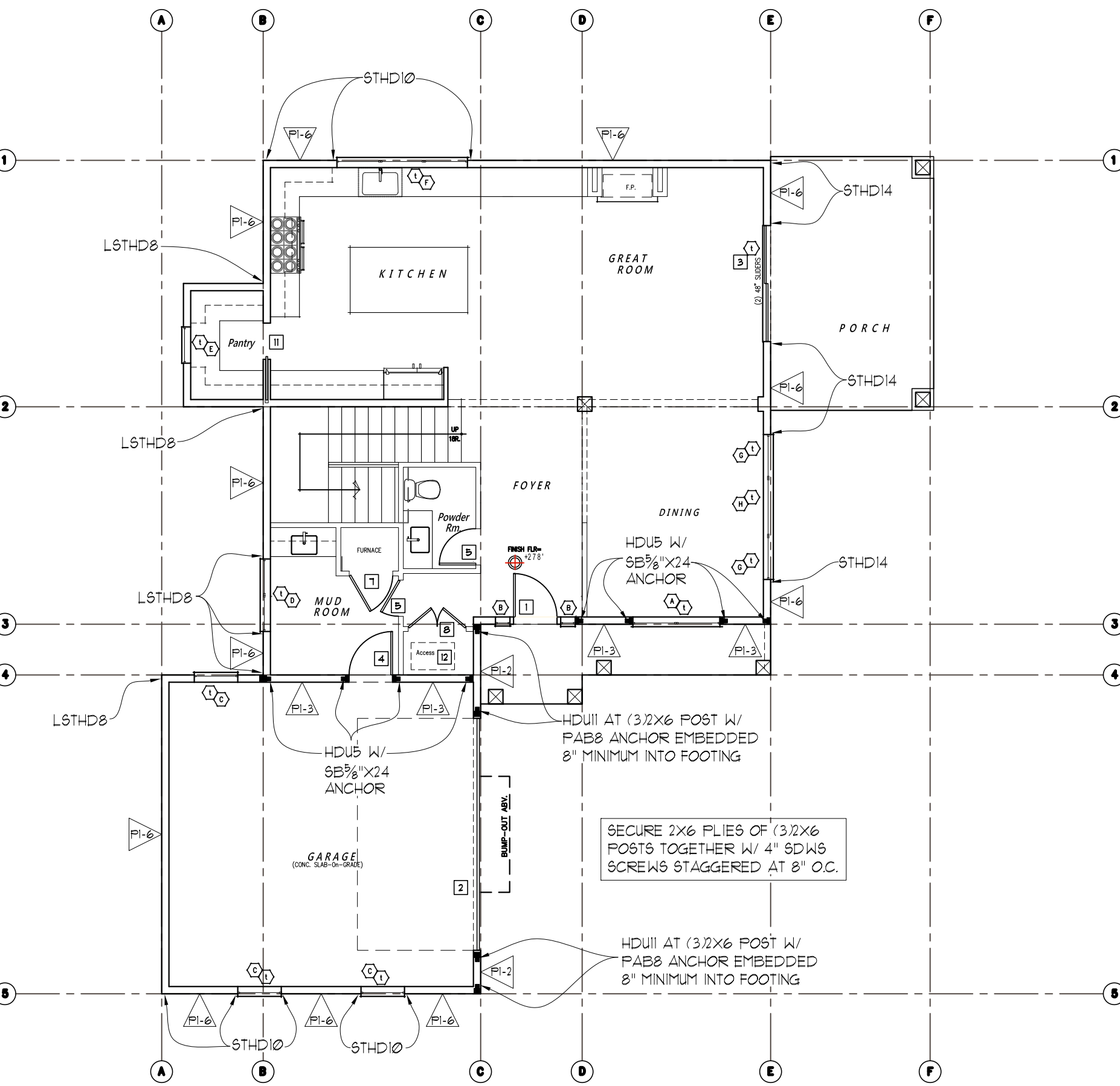
STAIR FRAMING

UNLESS NOTED OTHERWISE SPECIFIED, TYPICAL STAIR FRAMING SHALL CONSIST OF 2X12 STAIR STRINGERS SPACED AT NO MORE THAN 18" O.C. AND REINFORCED W/ 2X6 SCABS ATTACHED W/ 10d COMMON NAILS STAGGERED AT 8" O.C. STRINGERS SHALL BE SUPPORTED AT UPPER END BY BEARING ON TOP PLATE OF WALL OR APPROVED CONNECTOR TO FLOOR BEAM SUCH AS SIMPSON LRU OR LSC. LANDINGS SHALL CONSIST OF CONVENTIONAL PLATFORM FRAMING W/ MINIMUM 2X6 JOISTS @ 16" O.C.

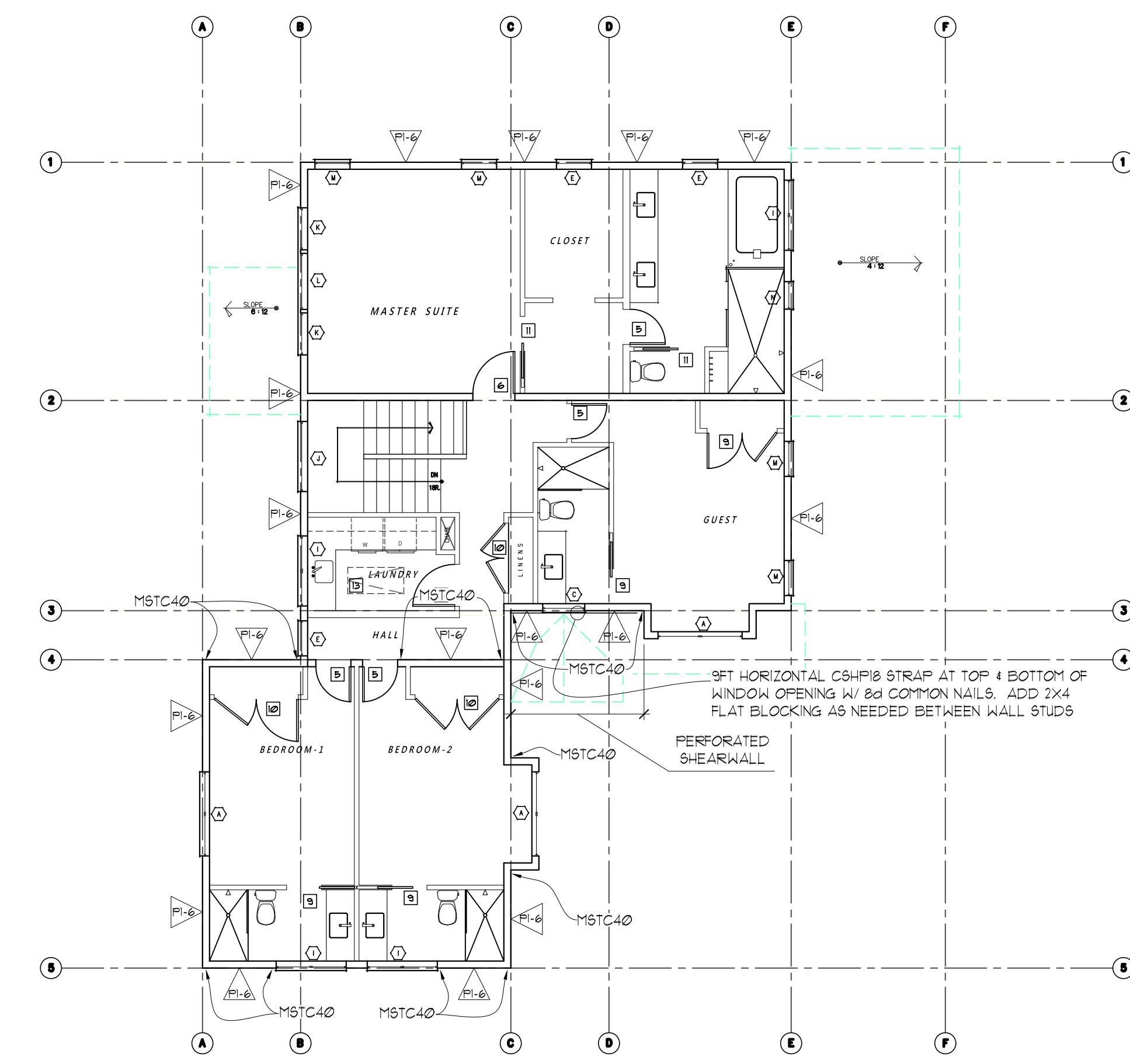
WALL MARK	SHEATHING (MINIMUM)	EDGE NAILING	FIELD NAILING	FRAMING @ ADJOINING PANEL EDGES	SOLE PLATE NAILING (STAGGER)	MINIMUM RIM BOARD OR BLOCKING WIDTH BELOW WALL	SILL PLATE	ANCHOR BOLT DIA. & SPACING
PI-6	3/4" SHEATHING ONE SIDE	8d (0.131"x2.5") AT 6" O.C.	12" O.C.	2X	(1) ROW 16d SINKER (0.148"x3/4") @ 8" O.C.	125" LSL (13E) UNLESS NOTED OTHERWISE	2X	5/8" DIA. @ 60" O.C.
PI-3	3/4" SHEATHING ONE SIDE	8d (0.131"x2.5") AT 3" O.C.	12" O.C.	2X	(1) ROW 16d SINKER (0.148"x3/4") @ 4" O.C.	175" LSL (155E) UNLESS NOTED OTHERWISE	2X	5/8" DIA. @ 42" O.C.
PI-2	3/4" SHEATHING ONE SIDE	10d (0.148"x3") AT 2" O.C.	12" O.C.	3X OR GREATER	(1) ROW 16d SINKER (0.148"x3/4") @ 3" O.C. STAGGERED	175" LSL (155E) UNLESS NOTED OTHERWISE	2X	5/8" DIA. @ 24" O.C.

- FRAMING SHALL BE 2X DOUG-FIR @ 16" O.C. MAX UNLESS NOTED OTHERWISE IN SCHEDULE.
- SHEATHING PANELS MAY BE LAYED VERTICAL OR HORIZONTAL. BLOCK ALL ADJOINING HORIZONTAL EDGES W/ 2x OR 3x BLOCKING PER SCHEDULE.
- ALL EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS SHALL RECEIVE APA RATED SHEATHING OR ALL VENEER FLYWOOD SIDING OF EQUIVALENT THICKNESS AT POINT OF FASTENING ON PANEL EDGES FULLY BLOCKED WITH MINIMUM NAILING OF 8d (0.131"x2.5") @ 6" O.C. EDGE & 12" O.C. FIELD.
- NAILING APPLIES TO ALL STUDS, TOP PLATES, SOLE PLATES, SILL PLATES, & BLOCKING. PANEL EDGE AND SILL/SOLE PLATE NAILING SHALL BE STAGGERED.
- ANCHOR BOLT SPACING IS 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORIES) UNLESS NOTED OTHERWISE IN SCHEDULE. MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF FOUNDATION PLATE. ANCHOR BOLTS SPACED NO GREATER THAN 12" AND NO LESS THAN 1 TIMES THE ANCHOR BOLT DIAMETER AT ENDS AND SPLICES. PROVIDE 0.229"x3"x3" WASHERS AT ANCHOR BOLTS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE SHEATHED EDGE OF THE SILL PLATE ON WALLS W/ EDGE NAILING AT 4" O.C. OR TIGHTER. DIAGONALLY SLOTTED WASHERS MAY BE USED W/ A STANDARD CUT WASHER PROVIDED BETWEEN PLATE WASHER & NUT. DO NOT RECESS BOLTS.
- ALL NAILS FOR SHEAR WALLS SHALL BE COMMON OR GALVANIZED BOX NAILS (UNO). ALL SPECIFIED NAILS SHALL HAVE THE FOLLOWING DIMENSIONS: 8d (0.131" DIA x 2.5" LONG), 10d (0.148" DIA x 3" LONG), 16d COMMON (0.162" DIA x 3.5" LONG), 16d SINKER (0.148" DIA x 3.5" LONG).
- IN LIEU OF 3X STUDS OR BLOCKING AT ADJOINING PANEL EDGES, 2-2X'S FACE NAILED W/ 10d COMMON NAILS (0.148" DIA x 3" LONG) STAGGERED AT THE SAME SPACING AS PANEL EDGE NAILING MAY BE SUBSTITUTED. SHEATHING EDGES SHALL BE CENTERED BETWEEN THE 2-2X MEMBERS (SHALL NOT APPLY TO WALLS SHEATHED ON BOTH SIDES UNLESS ADJOINING PANEL EDGES ARE STAGGERED ON OPPOSITE FACES).
- HOLDDOVNS AND STRAPS OF EQUIVALENT CAPACITY (W/ CURRENT ICC EVALUATION REPORT OR SIMILAR) MAY ONLY BE SUBSTITUTED FOR THOSE SPECIFIED ON PLAN WITH PRIOR APPROVAL OF BUILDING OFFICIAL OR ENGINEER OF RECORD.
- BLOCKING IN FLOOR JOIST CAVITY IS REQUIRED AT ENDS OF SHEAR WALLS WHERE FULL BEARING IS NOT PROVIDED BY THE FRAMING BELOW. BLOCKING SHALL HAVE WOOD GRAIN ORIENTED VERTICALLY UNLESS NOTED OTHERWISE.
- SIMPSON MASAP MUDSILL ANCHORS MAY BE SUBSTITUTED (1) FOR (1) AT 2X SILL PLATES FOR THE 3/4" DIA SILL PLATE ANCHOR BOLTS SPECIFIED.

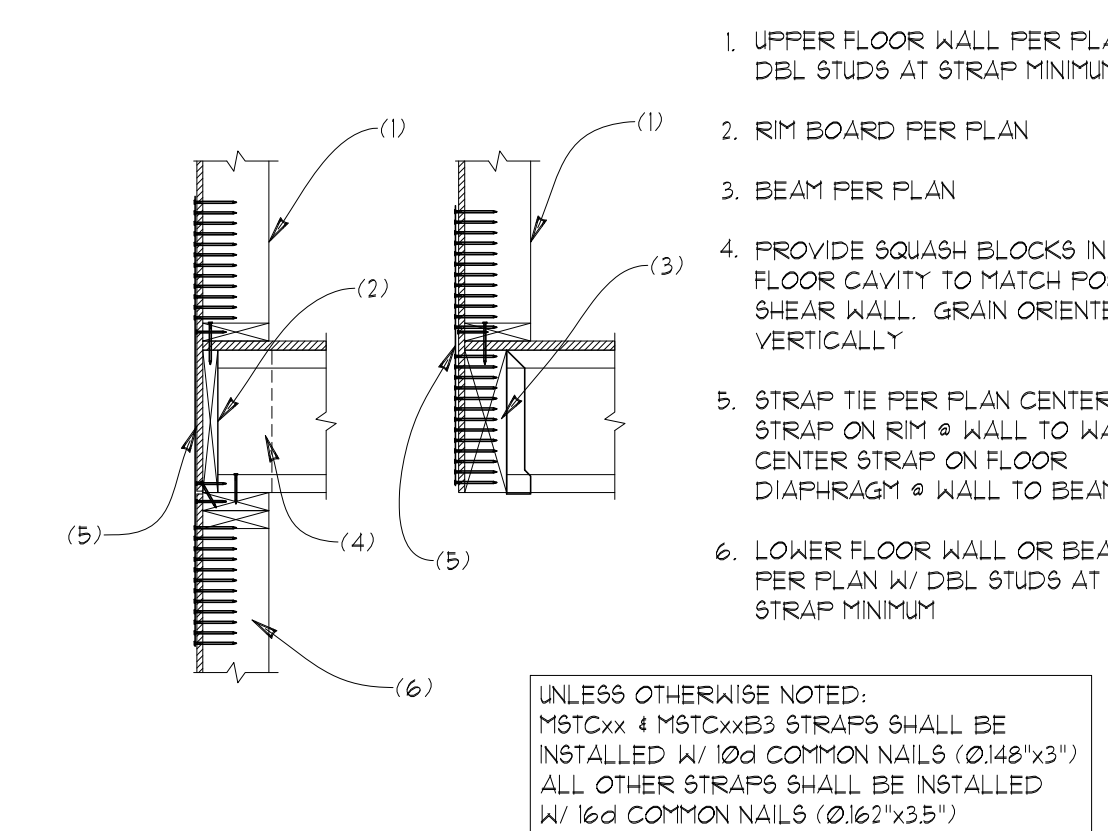
PERFORATED SHEAR WALLS: CONTINUE SHEAR WALL SHEATHING ABOVE AND BELOW ALL OPENINGS BETWEEN FULL HEIGHT WALL SEGMENTS WITH NAILING AS SHOWN IN SHEAR WALL SCHEDULE. ANY INCREASE TO HEIGHT OR WIDTH OF WINDOW OPENING MUST BE APPROVED BY ENGINEER OF RECORD.



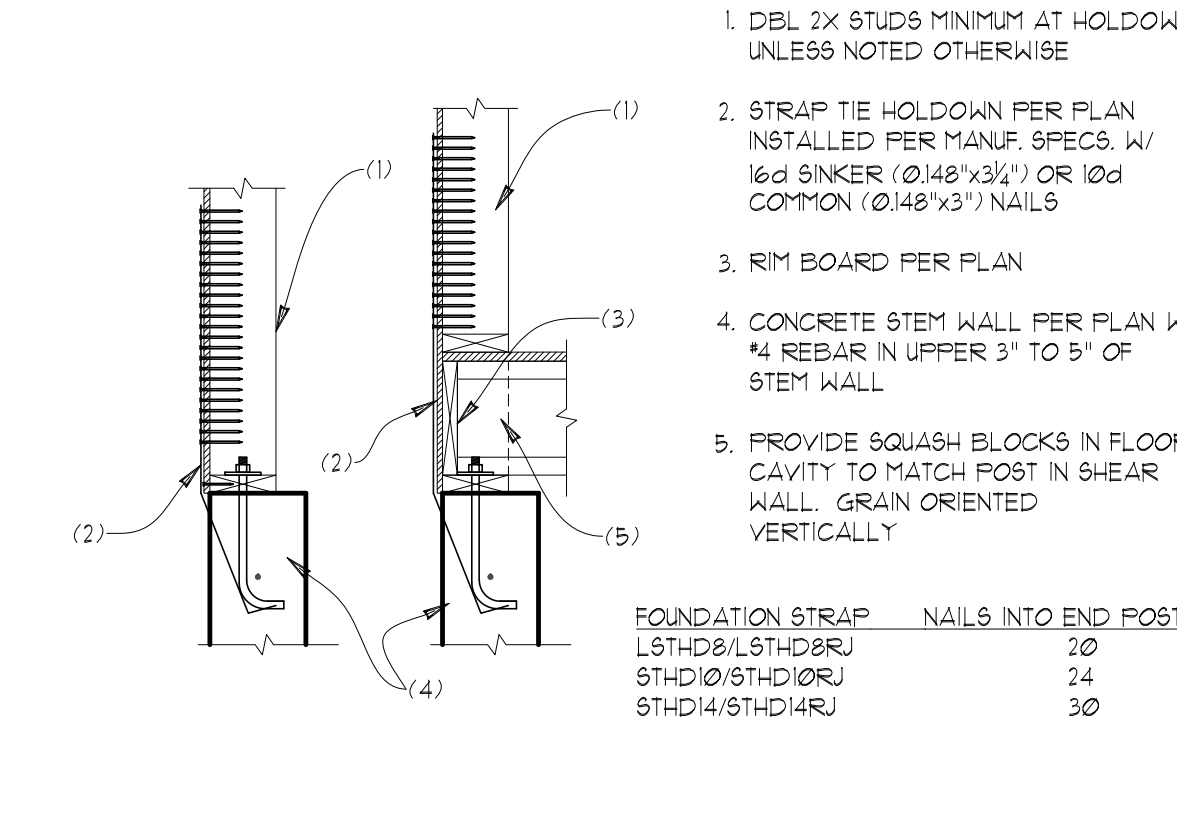
MAIN FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"



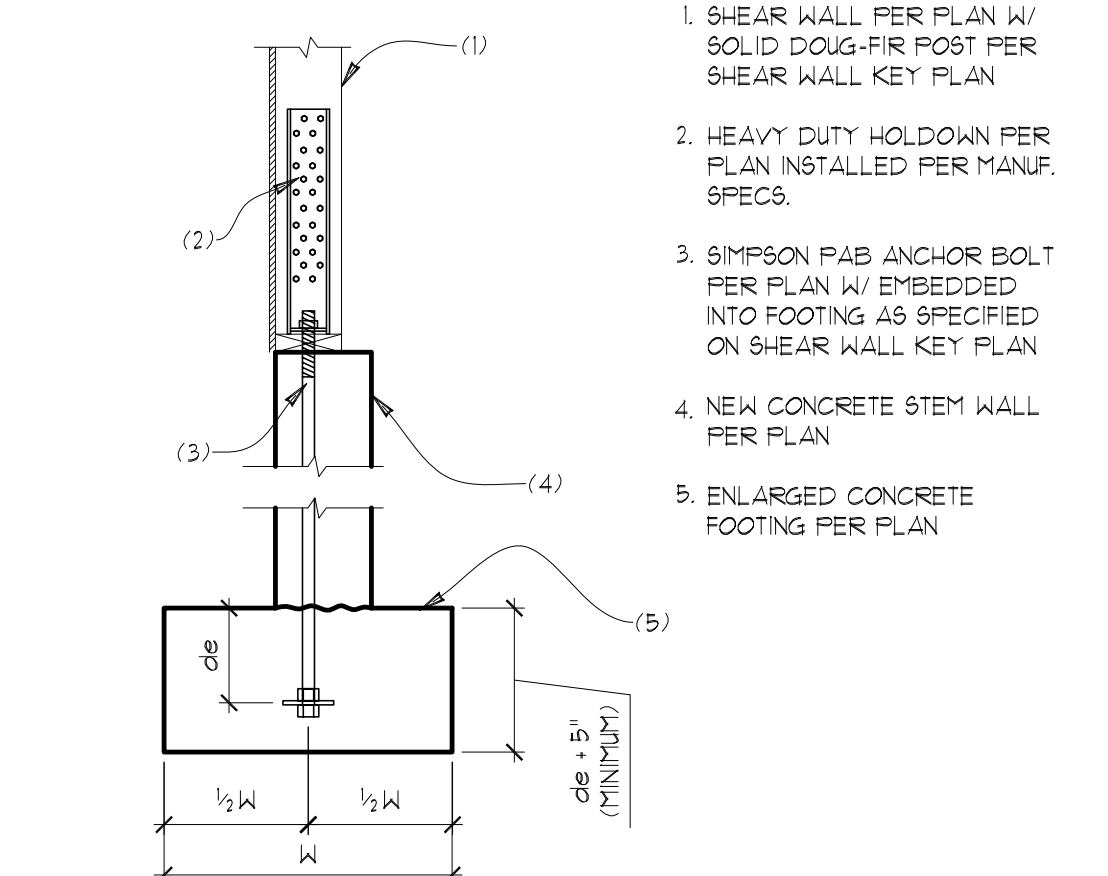
UPPER FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"



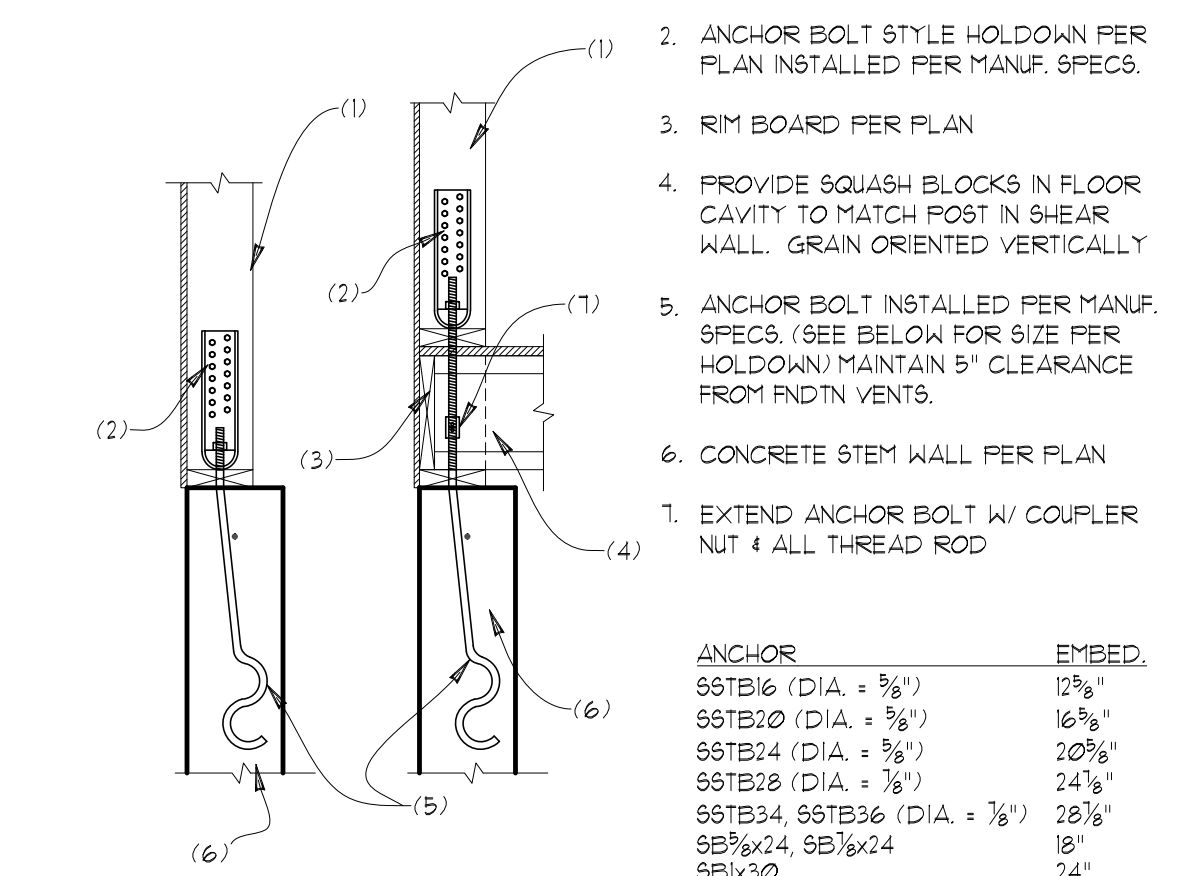
H1 TYPICAL STRAP TIE @ UPPER FLOORS
SCALE: 3/4"=1'



H2 TYPICAL STRAP TIE HOLDDOWN
SCALE: 3/4"=1'



H3 PAB ANCHOR BOLT AT HOLDDOWN
SCALE: 3/4"=1'



H4 TYPICAL ANCHOR BOLT HOLDDOWN
SCALE: 3/4"=1'

- UPPER FLOOR WALL PER PLAN W/ DBL STUDS AT STRAP MINIMUM
- RIM BOARD PER PLAN
- BEAM PER PLAN
- PROVIDE SQUASH BLOCKS IN FLOOR CAVITY TO MATCH POST IN SHEAR WALL. GRAIN ORIENTED VERTICALLY
- STRAP TIE PER PLAN CENTER STRAP ON RIM & WALL TO WALL & CENTER STRAP ON FLOOR DIAPHRAGM & WALL TO BEAM
- LOWER FLOOR WALL OR BEAM PER PLAN W/ DBL STUDS AT STRAP MINIMUM

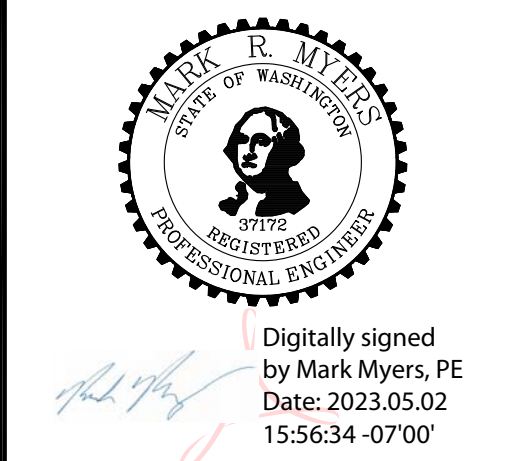
FOUNDATION STRAP	NAILS INTO END POST
L5THD8(L5THD8R)	20
5THD10(5THD10R)	24
5THD14(5THD14R)	30

- DBL 2X STUDS MINIMUM AT HOLDOWN UNLESS NOTED OTHERWISE
- STRAP TIE HOLDOWN PER PLAN INSTALLED PER MANUF. SPECS. W/ 16d SINKER (0.148"x3/4") OR 10d COMMON (0.148"x3") NAIL
- RIM BOARD PER PLAN
- CONCRETE STEM WALL PER PLAN W/ 4 REBAR IN UPPER 3' TO 5' OF STEM WALL
- PROVIDE SQUASH BLOCKS IN FLOOR CAVITY TO MATCH POST IN SHEAR WALL. GRAIN ORIENTED VERTICALLY

ANCHOR	EMBED.
55TB16 (DIA. = 3/8")	12 3/4"
55TB20 (DIA. = 1/2")	16 3/4"
55TB24 (DIA. = 5/8")	20 3/4"
55TB28 (DIA. = 3/4")	24 3/4"
55TB34, 55TB36 (DIA. = 7/8")	28 3/4"
55TB42, 55TB44	34"
55TB50	40"

STRUCTURAL PLANS
CHASE'S CORNER - LOT 1
8908 SE 37th STREET
MERCER ISLAND, WA

Myers Engineering, LLC
 3206 50th Street Court, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net

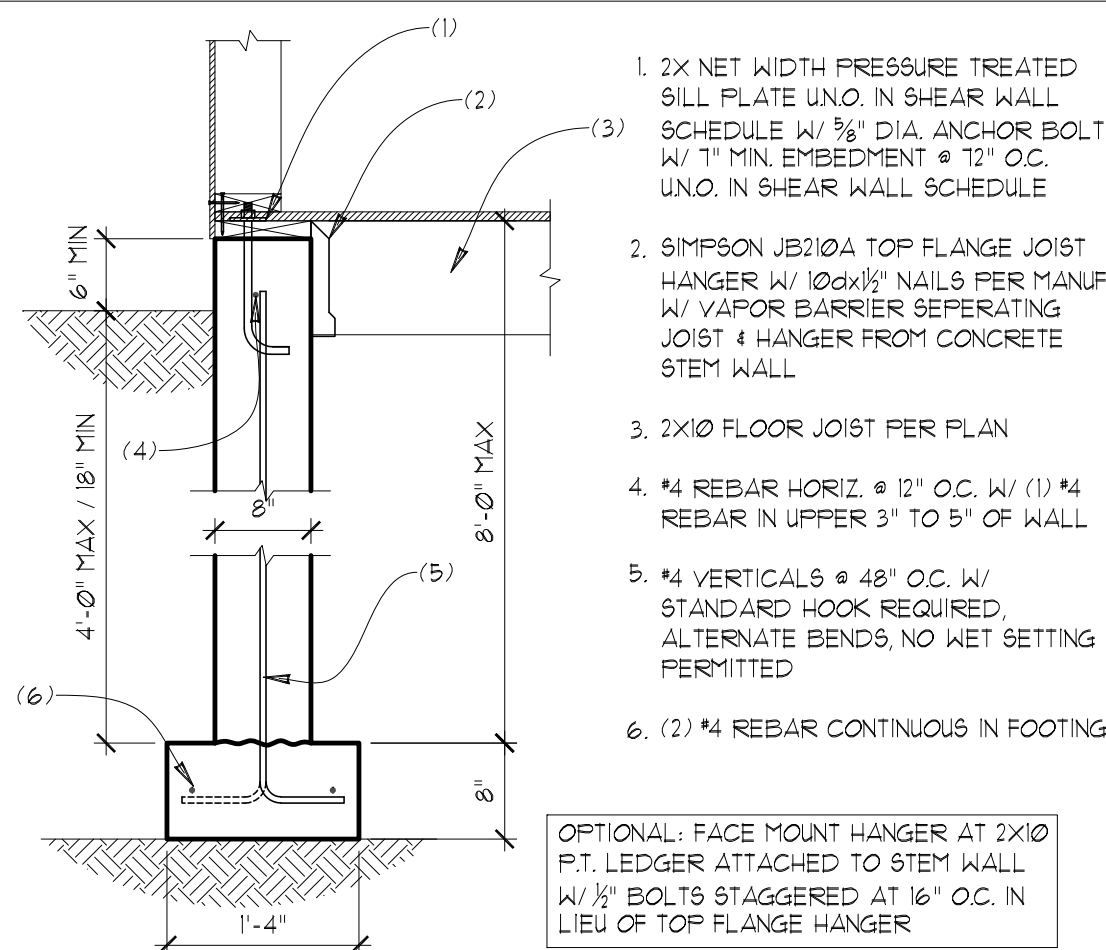


BUILDING DEPT. APPROVAL STAMPS:

REVISION:	INITI:	DATE:
ASSIGNED ADDRESS	MM	5-2-2023

DATE:	INITI:	PROJECT #:
4-15-2022	MM	2421

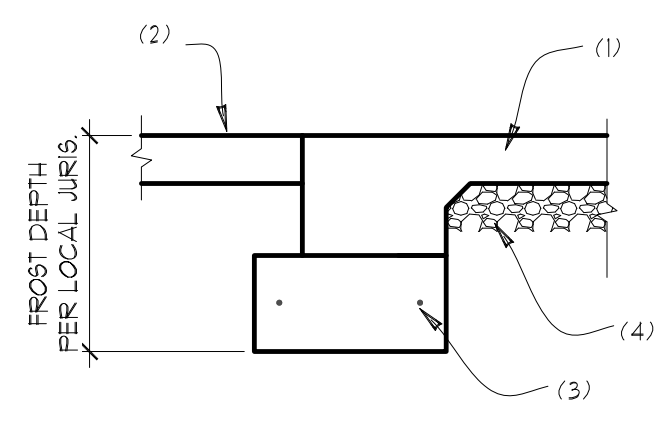
S1



50 8" STEM WALL AT DROPPED JOISTS
SCALE: 3/4"=1'

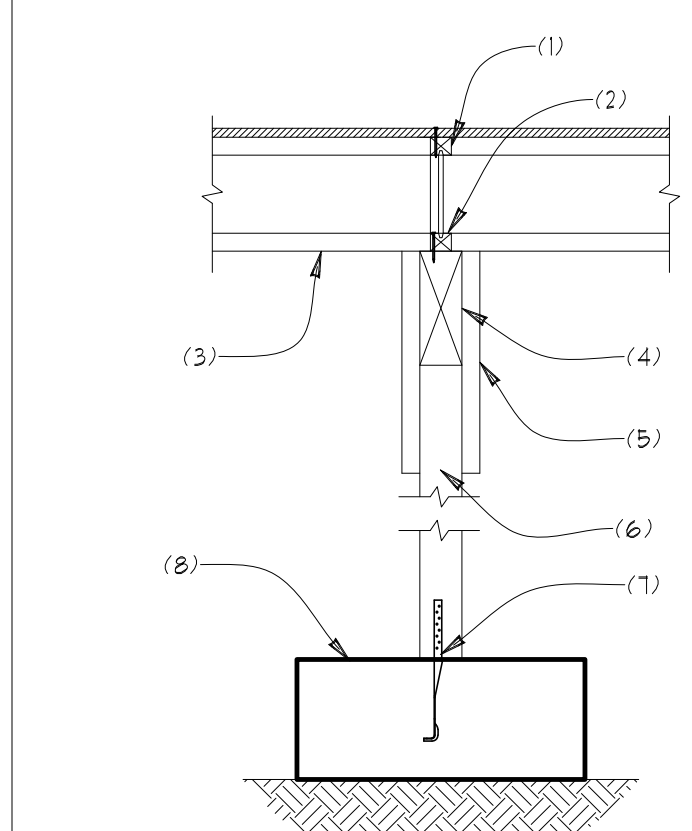
- 2X NET WIDTH PRESSURE TREATED SILL PLATE UNO. IN SHEAR WALL SCHEDULE W/ 3/4" DIA. ANCHOR BOLT W/ 1" MIN. EMBEDMENT @ 12" O.C. UNO. IN SHEAR WALL SCHEDULE
- SIMPSON JB2/0A TOP FLANGE JOIST HANGER W/ 10dX1 1/2" NAILS PER MANUF. W/ VAPOR BARRIER SEPARATING JOIST 4 HANGER FROM CONCRETE STEM WALL
- 2X10 FLOOR JOIST PER PLAN
- #4 REBAR HORIZ. @ 12" O.C. W/ (1) #4 REBAR IN UPPER 3" TO 5" OF WALL
- #4 VERTICALS @ 48" O.C. W/ STANDARD HOOK REQUIRED. ALTERNATE BENDS, NO WET SETTING PERMITTED
- (2) #4 REBAR CONTINUOUS IN FOOTING

OPTIONAL: FACE MOUNT HANGER AT 2X10 P.T. LEDGER ATTACHED TO STEM WALL W/ 1/2" BOLTS STAGGERED AT 16" O.C. IN LIEU OF TOP FLANGE HANGER



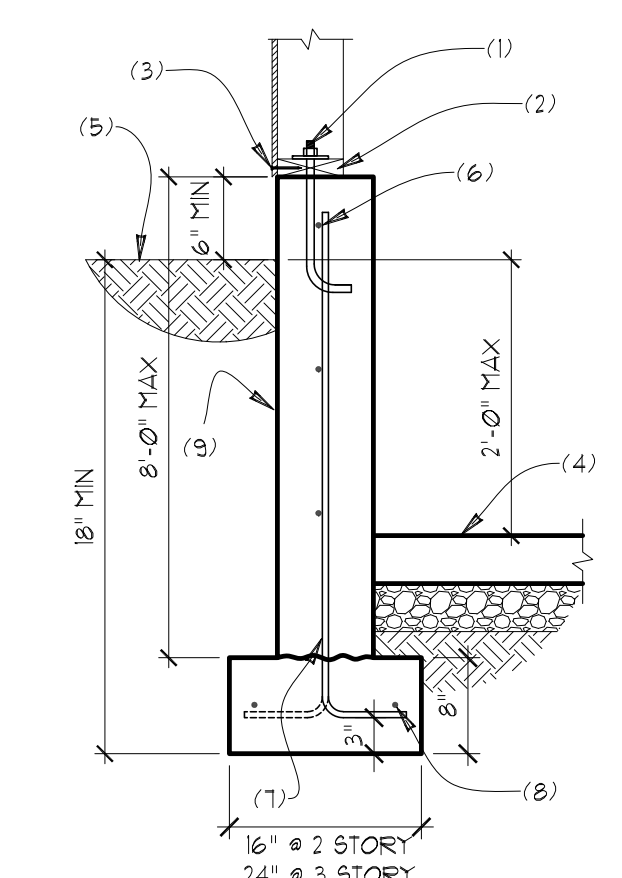
51 THICKENED SLAB EDGE AT GARAGE
SCALE: 3/4"=1'

- 4" CONCRETE SLAB PER PLAN W/ THICKENED EDGE AT DOOR OPENING
- FINISH GRADE OR SLAB AS OCCURS
- (2) #4 REBAR IN CONTINUOUS FOOTING
- 4" COMPACTED GRANULAR FILL



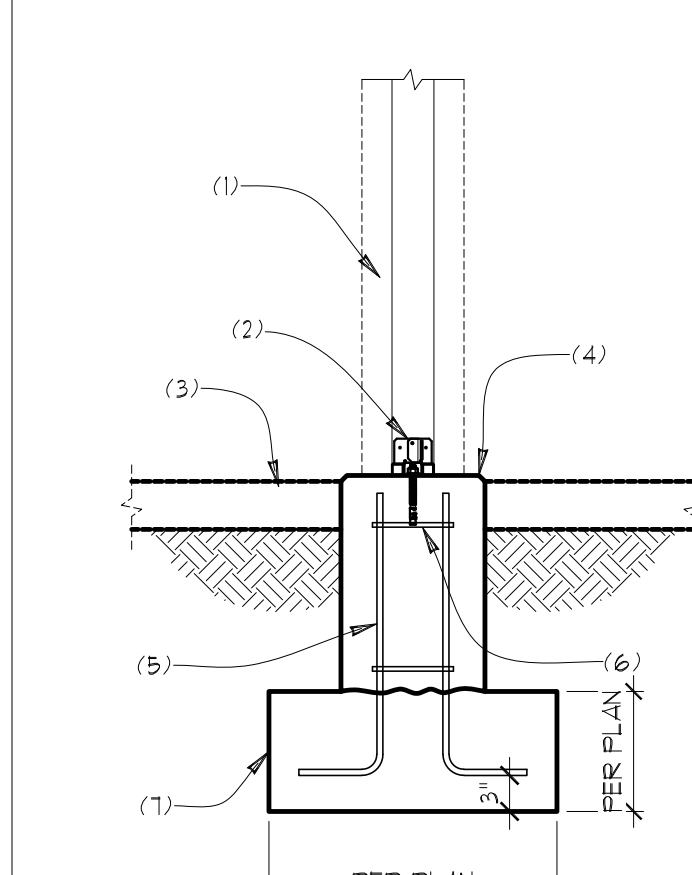
52 INTERIOR FOOTING @ BEAM LINE
SCALE: 3/4"=1'

- 1-JOIST BLOCKING REQUIRED AT BEARING OR SHEAR WALLS ABOVE OR WHEN JOISTS ARE NOT CONTINUOUS AT BEAM
- SECURE BLOCKING TO BEAM W/ 2d NAILS @ 6" O.C.
- 1-JOIST PER PLAN
- BEAM PER PLAN
- 2X OR SHEATHING CLEATS BOTH SIDES TO SECURE BEAM TO POST (3) 10d NAILS PER CLEAT PER MEMBER
- 4X OR 6X TREATED POST (4X6 MIN AT BEAM SPLICE)
- SIMPSON MABIS ANCHOR W/ 10dX1 1/2" COMMON NAILS @ 14dX1 1/2" TO POST
- ISOLATED OR CONTINUOUS SPREAD FOOTING PER PLAN



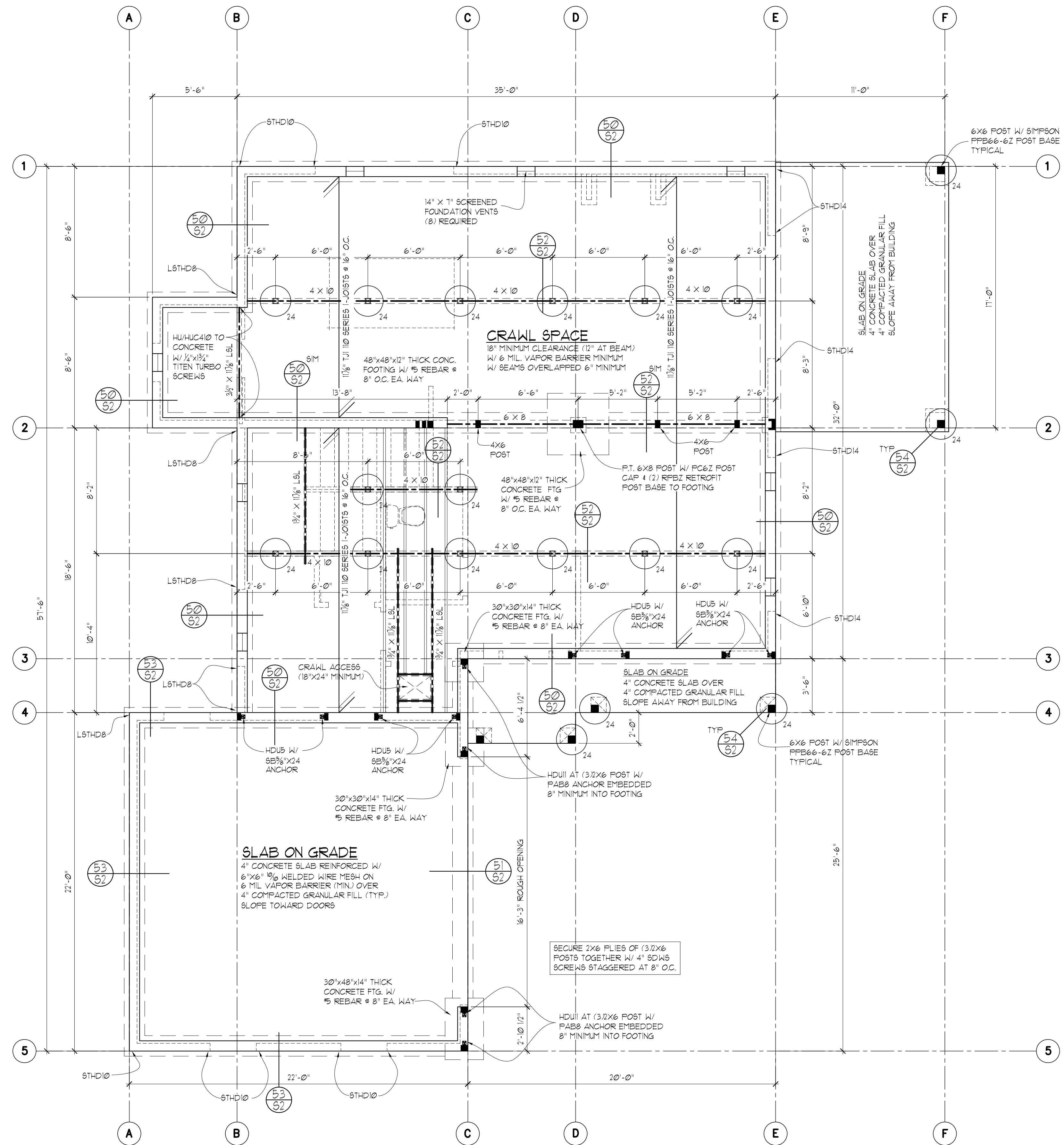
53 8" STEM WALL AT SLAB ON GRADE
SCALE: 3/4"=1'

- 3/8" DIA. ANCHOR BOLT @ 12" O.C. UNO. IN SHEAR WALL SCHEDULE W/ 1" MIN. EMBEDMENT
- 2X PRESSURE TREATED SILL PLATE UNO. IN SHEAR WALL SCHEDULE
- SHEAR WALL EDGE NAILING PER SHEAR WALL SCHEDULE
- 4" CONCRETE SLAB OVER 4" COMPACT FILL
- FINISH GRADE OR SLAB AS OCCURS
- #4 HORIZ. REBAR @ 12" O.C. W/ (1) #4 REBAR IN UPPER 3" TO 5" OF WALL
- #4 VERTICALS @ 18" O.C. W/ STANDARD HOOK REQUIRED. ALTERNATE BENDS, NO WET SETTING PERMITTED
- (2) #4 REBAR CONTINUOUS IN FOOTING
- INSTALL DAMPPROOFING OR WATERPROOFING PER IRC R406 WHERE INTERIOR SLAB IS BELOW EXTERIOR GRADE



54 FOOTING AT WOOD COLUMN
SCALE: 3/4"=1'

- WOOD POST W/ ARCHITECTURAL COVER PER PLAN
- SIMPSON ABUZ OR OPTZ POST BASE UNLESS NOTED OTHERWISE WITH CAST IN PLACE OR EPOXIED ANCHOR PER MANUF. SPECS.
- FINISH GRADE OR SLAB AS OCCURS
- OPTIONAL 12" DIA OR SQUARE CONCRETE PEDESTAL
- (4) #4 VERTICALS W/ STANDARD HOOK AT CONCRETE PEDESTAL
- #3 TIES AT 8" O.C.
- ISOLATED OR CONTINUOUS FOOTING PER PLAN



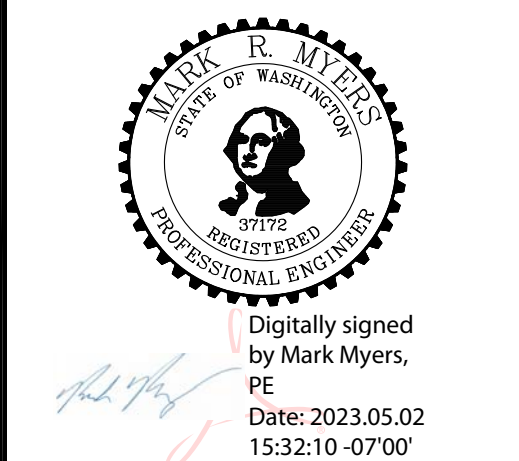
FOOTING SCHEDULE		NOTE: USE MIN. 6" WIDE POST BELOW BEAM SPLICES USE P.T. 4 X 4 POSTS BELOW 4 X BEAMS U.N.O. USE P.T. 6 X 6 POST BELOW 6 X BEAMS U.N.O.
24	P.T. POST ON 24" DIA. X 10" THICK PLAIN CONC. FOOTING	
24	P.T. POST ON 24" X 24" X 10" THICK CONC. FOOTING W/ 2- # 4 BARS EACH WAY	
30	P.T. POST ON 30" X 30" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY	
36	P.T. POST ON 36" X 36" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY	
42	P.T. POST ON 42" X 42" X 12" THICK CONC. FOOTING W/ 4- # 5 BARS EACH WAY	
FOOTING SIZES BASED ON 1500 PSF SOIL BEARING CAPACITY		

FOUNDATION/FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
 - SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
 - PROVIDE SOLID BLOCKING OVER SUPPORTS
 - ALL FOOTINGS TO REST ON UNDISTURBED SOIL
 - PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY BUILDING OFFICIAL
 - PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
 - PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS, BEAMS, AND END POSTS FOR SHEAR WALLS TO MATCH FULL WIDTH OF POSTS IN WALL ABV. W/ GRAIN ORIENTED VERTICALLY

STRUCTURAL PLANS

CHASE'S CORNER - LOT 1
8908 SE 37th STREET
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Digitally signed by Mark Myers, PE
 Date: 2023.05.02 15:32:10 -0700

BUILDING DEPT. APPROVAL STAMP:

REVISION:	INIT:	DATE:

S2

DATE: 4-15-2022
 INIT: MM
 PROJECT #: 2421

